

TOPOGRAPHICAL SURVEY
 OF PART OF
LOT 18
CONCESSION 19
 (GEOGRAPHIC TOWNSHIP OF BLANSHARD)
 TOWN OF ST. MARYS
 COUNTY OF PERTH

SCALE 1:500
 0 2 4 6 8 10 20 30 METRES

NA GEOMATICS INC.
 ONTARIO LAND SURVEYORS

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BENCH MARK:
 ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CANSEL CAN-NET REAL TIME NETWORK AND ARE MEASURED IN ZONE 17N NAD83 (CSRS-2010)

SITE BENCH MARK:
 CUT CROSS AT BASE OF LIGHT STANDARD SOUTH OF THE STUCCO AND BLOCK BUILDING.
 ELEVATION = 313.341

NOTES:
 1) BEARINGS SHOWN HEREON ARE ASTROMOMIC AND ARE REFERRED TO THE SOUTH LIMIT OF QUEEN STREET, AS WIDENED, HAVING A BEARING OF N81°04'10"E ACCORDING TO PLAN 44R-3833.

LEGEND:

- DENOTES PLANTED MONUMENT
- DENOTES FOUND MONUMENT
- SB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- WB DENOTES ROUND IRON BAR
- WT DENOTES WITNESS
- MEAS DENOTES MEASURED
- 1245 DENOTES DONALD W.J. McNEIL LIMITED, O.L.S.'s
- 674 DENOTES F.I.S. PEARCE, O.L.S.
- DENOTES AERIAL HYDRO WIRES
- P1 DENOTES PLAN 44R-3833
- P2 DENOTES PLAN 44R-5309
- DENOTES EXISTING ELEVATION
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2) THE SURVEY WAS COMPLETED ON THE 27th DAY OF FEBRUARY, 2020.

DATE: APR 28 2020
 DAVID J. RATHBY, O.L.S.
 ONTARIO LAND SURVEYOR

BLACK ART DRAFTING INC. 519-301-8571 (File: 2254) 1200 O'Loone Ave., Stratford, Ontario, N5A 6S6

NA GEOMATICS INC.
 ONTARIO LAND SURVEYORS
 107 Erie St., STRATFORD, ONTARIO, N5A 2M5
 TEL: 519-273-3205
 FAX: 519-273-7133

Cad File: E:\Block Art\22\2254\20-6006-10P0.dwg COGO: 20-6006-GROUND.dwg
 Drawn By: S. McConnell Checked By: D.J. RATHBY, O.L.S. File No. 20-6006



ONTARIO CANADA ST. MARYS

SITE PLAN APPLICATION

752 QUEEN STREET E, ST MARYS,
ONTARIO, N4X 1G2

SPA SHEET LIST

A000 - TITLE PAGE
A100 - BUILDING A FLOOR PLAN
A101 - BUILDING B FLOOR PLAN
A101 - BUILDING B FLOOR PLAN
A200 - BUILDING A ELEVATIONS
A201 - BUILDING B ELEVATIONS
SP01 - SITE PLAN PHASE 1
SP02 - SITE PLAN FULL SITE
FP01 - FIRE ROUTE PLAN
LP01 - LANDSCAPE PLAN
CD1.1 - SITE GRADING PLAN
CD1.2 - SITE GRADING PLAN
CD2.1 - SITE SERVICING PLAN
CD2.2 - SITE SERVICING PLAN
CD3 - NOTES AND DETAILS
CD4 - EROSION AND SEDIMENT CONTROL PLAN
PP01 - PHOTOMETRIC PLAN
20-6006_Topographic_Ba

OWNER:
YAO ZHANG
macula2002@msn.com
(C) 905 518 0471

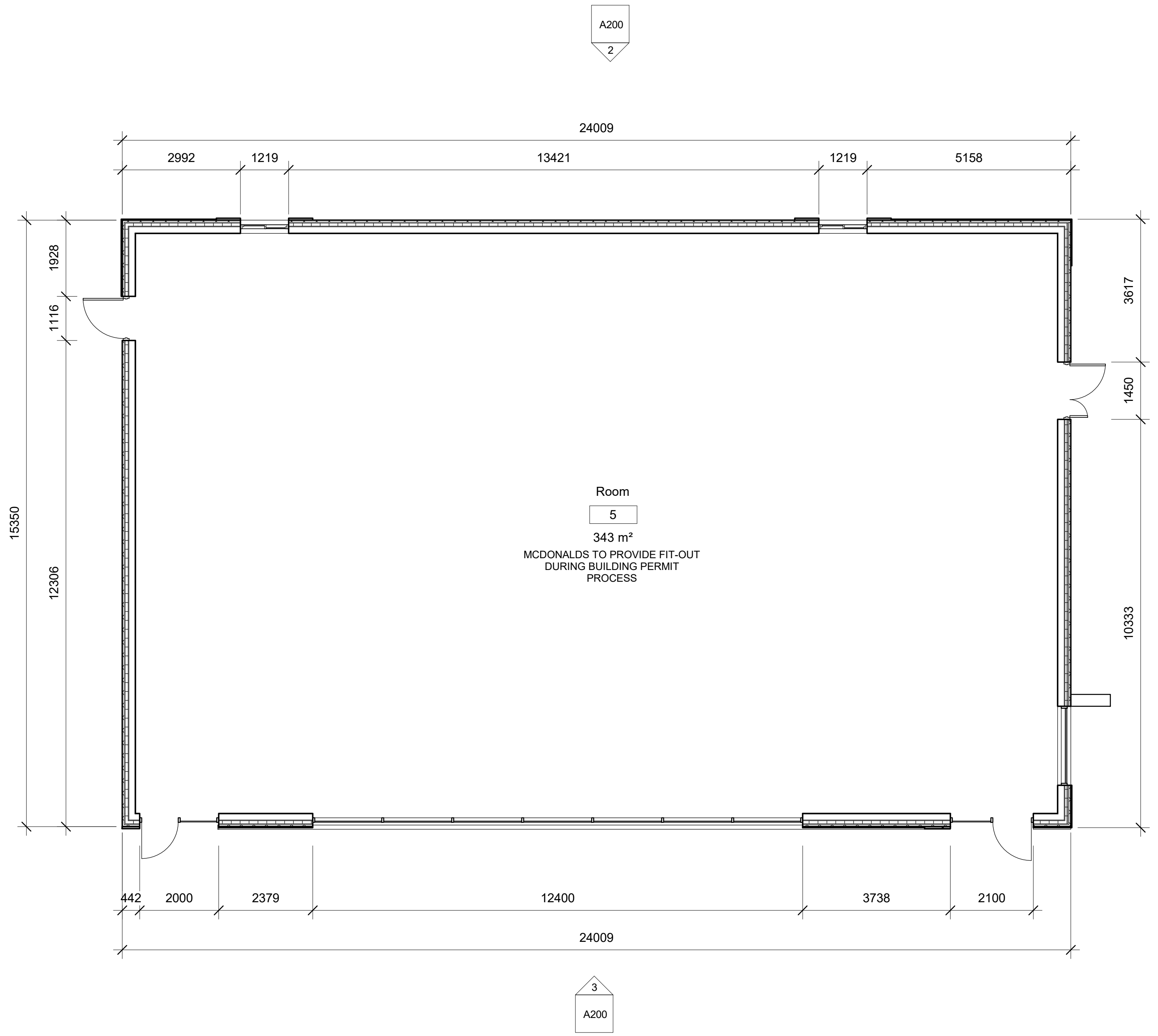
**BLUEPRINT2BUILD
CONSULTING ENGINEERS**
PLAN - DESIGN - MANAGE
14 CARDICO DRIVE
STOUFFVILLE, ONTARIO L4A2G5
(905) 888-0800

O.B.C. MATRIX - 2012 - BUILDING A					
MAJOR OCCUPANCY:		GROUP A2, ASSEMBLY, 3.2.2.28			
OTHER OCCUPANCIES:					
NUMBER OF STOREY (S):	1 STOREY				
BUILDING ACCESS:	FACING 2 STREETS W/ ACCESS ON 2 SIDES				
TOTAL BUILDING AREA:	369m ²				
SPRINKLERED	NON-SPRINKLERED				
FIRE SEPARATIONS:	RATINGS - REQUIRED:				PROVIDED:
BUILDING CONSTRUCTION:	COMBUSTIBLE & N/C CONST.				COMBUSTIBLE
FLOOR ASSEMBLIES:	COMBUSTIBLE & N/C CONST.				N/A
MEZZ FLOOR ASSEMBLIES:	N/A				N/A
ROOF ASSEMBLIES	NON-RATED				NON-RATED
LOAD BEARING WALLS:	NOT < THAT REQ'D FOR THE ROOF ASSEMBLY				NON-RATED
SERVICE ROOM:	N/A				N/A
STORAGE ROOMS:	N/A				N/A
JANITOR ROOM:	N/A				N/A
DESIGN OCCUPANT LOAD:					
3.8.2.8. WATER CLOSETS REQ'D: TO BE COMPLETED DURING BUILDING PERMIT PROCESS					
SPARTIAL SEPARATION & EXPOSURE PROTECTION:					
EXPOSING WALL PROJECT NORTH	TABLE 3.2.3.1		TABLE 3.2.3.7		MINIMUM F.R.R.
	% U/O PERMITTED	% U/O ACTUAL	TYPE OF CONSTRUCTION REQUIRED	TYPE OF CLADDING REQUIRED	
NORTH WALL EBD=109m ² LD=>100m	100%	4.5%	COMBUSTIBLE OR NONCOMBUSTIBLE	NONCOMBUSTIBLE AND COMBUSTIBLE OR NONCOMBUSTIBLE	N/A
SOUTH WALL EBF=93.7m ² LD=63	100%	41.2%	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE	N/A
EAST WALL EBF=68m ² LD=73m	100%	11%	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE	N/A
WEST WALL EBF=94m ² LD=1.6m	4%	3.2%	NONCOMBUSTIBLE	NONCOMBUSTIBLE	1 HR. F.R.R.
Building Envelope Energy Analysis (O.B.C. MATRIX - 2014)					
TO BE COMPLETED DURING BUILDING PERMIT PROCESS					

O.B.C. MATRIX - 2012 - BUILDING B					
MAJOR OCCUPANCY:		9.10.2.1 - GROUP E - MERCANTILE			
OTHER OCCUPANCIES:					
NUMBER OF STOREY (S):	1 STOREY				
BUILDING ACCESS:	FACING 2 STREETS W/ ACCESS ON 2 SIDES				
TOTAL BUILDING AREA:	384m ²				
SPRINKLERED	NON-SPRINKLERED				
FIRE SEPARATIONS:	RATINGS				PROVIDED:
BUILDING CONSTRUCTION:	COMBUSTIBLE & N/C CONST.				COMBUSTIBLE
FLOOR ASSEMBLIES:	COMBUSTIBLE & N/C CONST. 45 MIN				N/A
MEZZ FLOOR ASSEMBLIES:	45 MIN				N/A
ROOF ASSEMBLIES	NON-RATED				NON-RATED
LOAD BEARING WALLS:	NOT < THAT REQ'D FOR THE ROOF ASSEMBLY				NON-RATED
SERVICE ROOM:	3.6.2.1. - NOT LESS THAN 1HR. FIRE RATING				N/A
STORAGE ROOMS:	3.3.4.3. - NOT LESS THAN 1HR. FIRE RATING				N/A
JANITOR ROOM:	3.3.1.20 - NOT LESS THAN 1HR. FIRE RATING				N/A
DESIGN OCCUPANT LOAD:					
3.8.2.8. WATER CLOSETS REQ'D: TO BE COMPLETED DURING BUILDING PERMIT PROCESS					
SPARTIAL SEPARATION & EXPOSURE PROTECTION:					
EXPOSING WALL PROJECT NORTH	TABLE 9.10.14.4		TABLE 9.10.14.5		MINIMUM F.R.R.
	% U/O PERMITTED	% U/O ACTUAL	TYPE OF CONSTRUCTION REQUIRED	TYPE OF CLADDING REQUIRED	
NORTH WALL EBF=93.7m ²	100%	2%	COMBUSTIBLE OR NONCOMBUSTIBLE	NONCOMBUSTIBLE AND COMBUSTIBLE OR NONCOMBUSTIBLE	N/A
SOUTH WALL EBF=93.7m ² LD= 16.4m	100%	24%	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE	N/A
EAST WALL EBF=94m ² LD=36m	100%	2%	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE	N/A
WEST WALL EBF=94m ²	100%	10.17%	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE	N/A
Building Envelope Energy Analysis (O.B.C. MATRIX - 2014)					
TO BE COMPLETED DURING BUILDING PERMIT PROCESS					

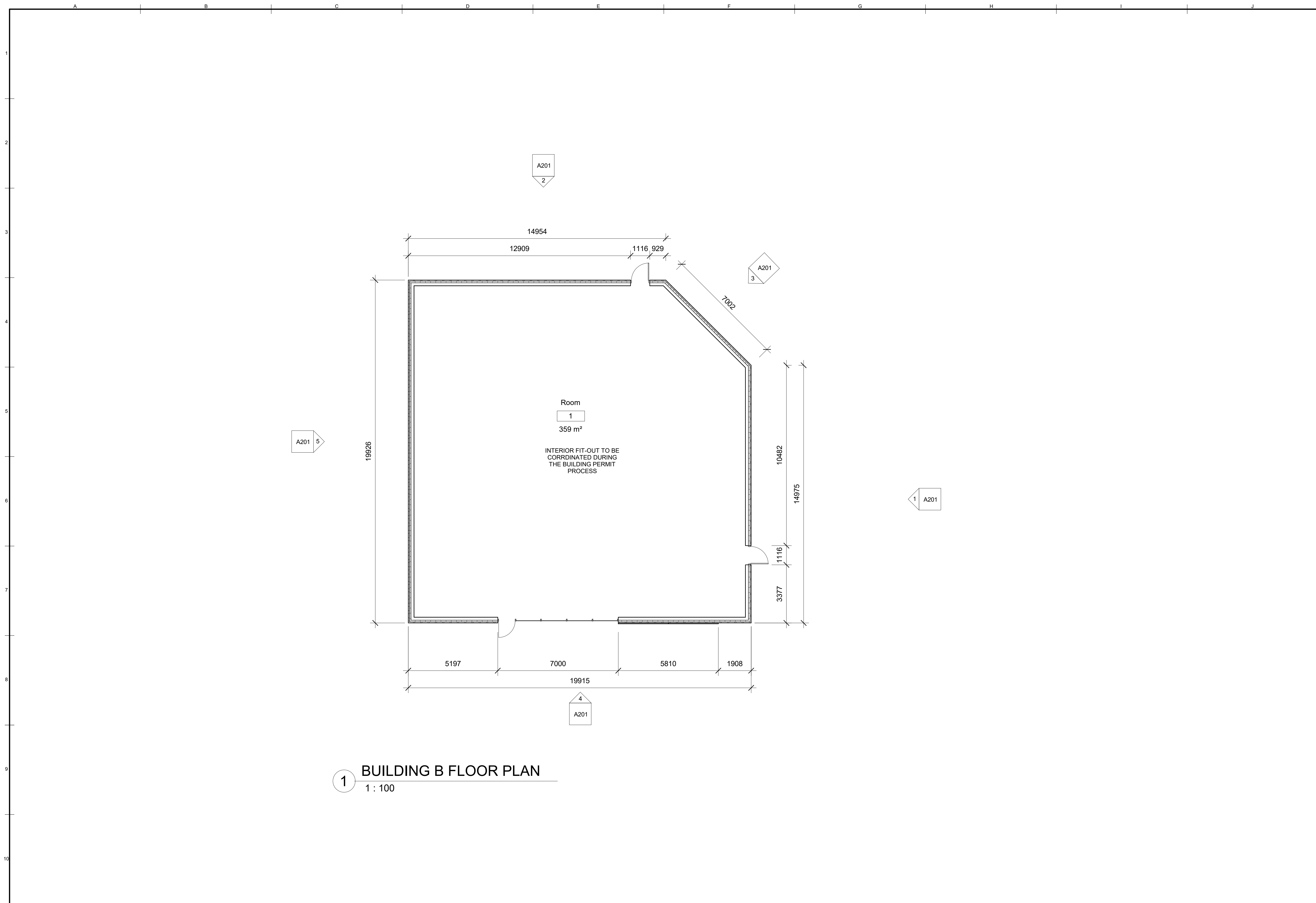
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A000									
blueprint2build									
TITLE PAGE									
752 QUEEN STREET EAST, ST. MARYS									
Rev	Date	Description	Apr	JSF					
1	2020-07-07	SPA SUBMISSION #1							
File No. 1905-246									
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A200 4



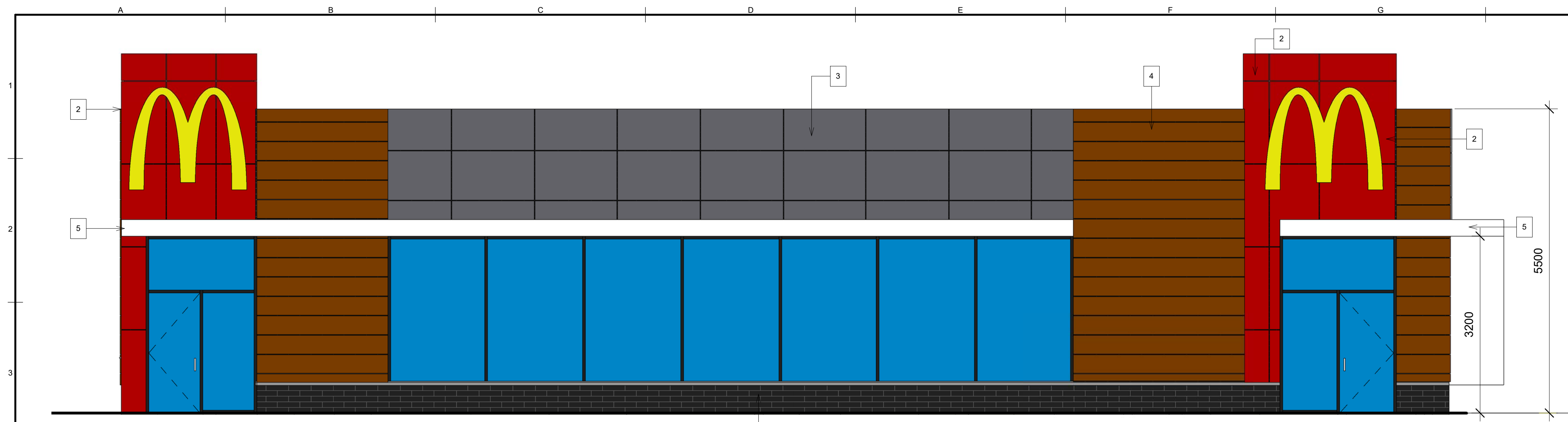
1 BUILDING A FLOOR PLAN
1 : 75

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BUILDING A FLOOR PLAN 752 QUEEN STREET EAST, ST. MARYS			
Rev 1	Date 2020-07-07	Description SPA SUBMISSION #1	Appr JSF
File No. 1905-246		A100	

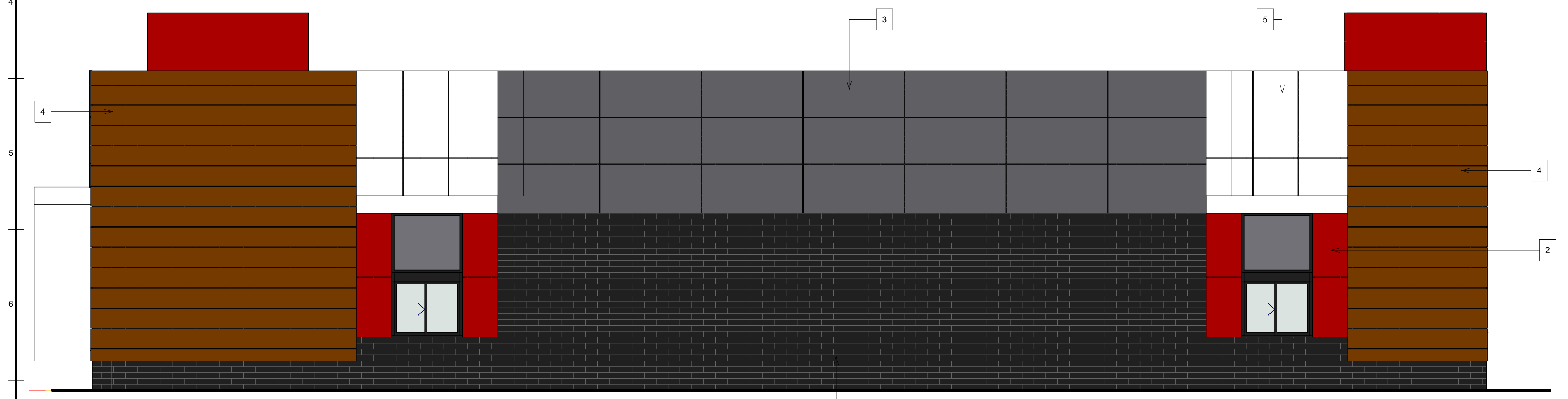


1 BUILDING B FLOOR PLAN
1 : 100

Revisions <table border="1"> <thead> <tr> <th>Rev</th> <th>Date</th> <th>Description</th> <th>Apr</th> <th>JSF</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2020-07-07</td> <td>SPA SUBMISSION #1</td> <td></td> <td></td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		Rev	Date	Description	Apr	JSF	1	2020-07-07	SPA SUBMISSION #1																							Date: 2020-08-05 9:08:31 AM Drawn By: JSF Reviewed By: CH DWG Scale: 1 : 100 File No. 1905-246
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BUILDING B FLOOR PLAN 752 QUEEN STREET EAST, ST. MARYS		blueprint2build																														
File No. 1905-246		A101																														



3 BUILDING A SOUTH
1 : 50



2 BUILDING A NORTH
1 : 50



1 BUILDING A EAST
1 : 50

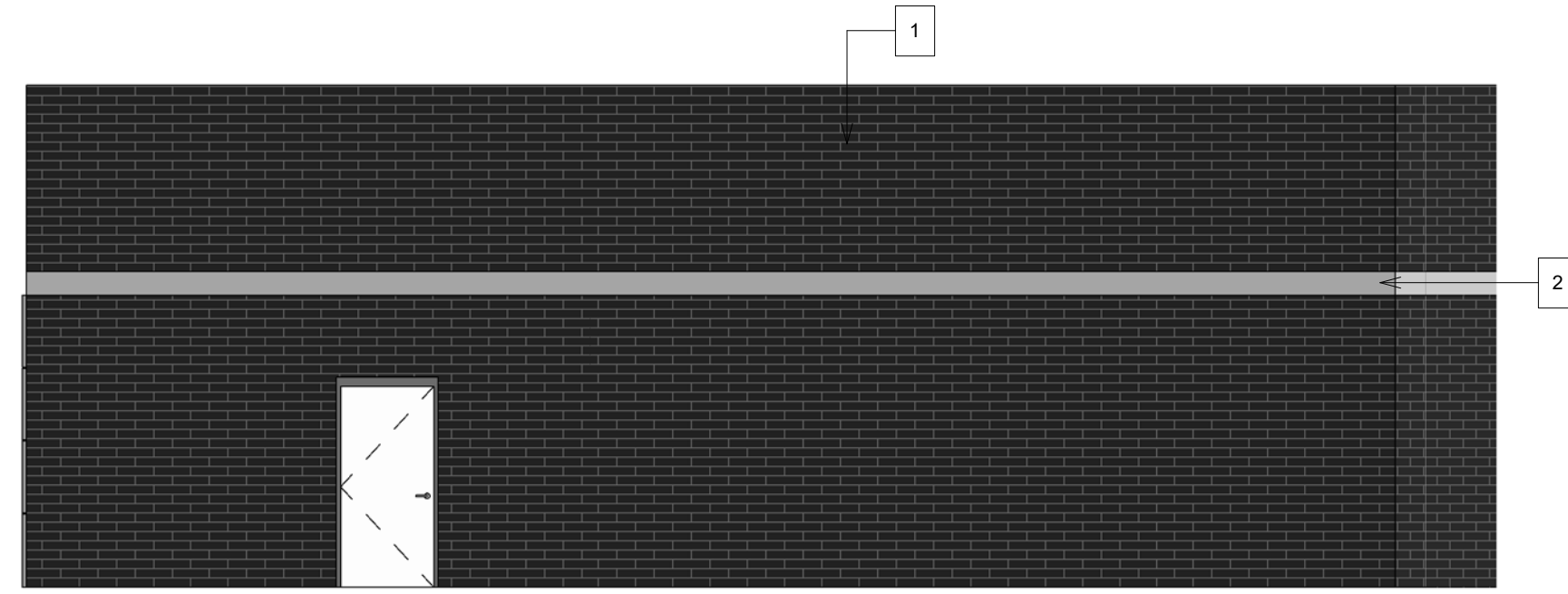
4 BUILDING A WEST
1 : 50

MATERIALS LEGEND

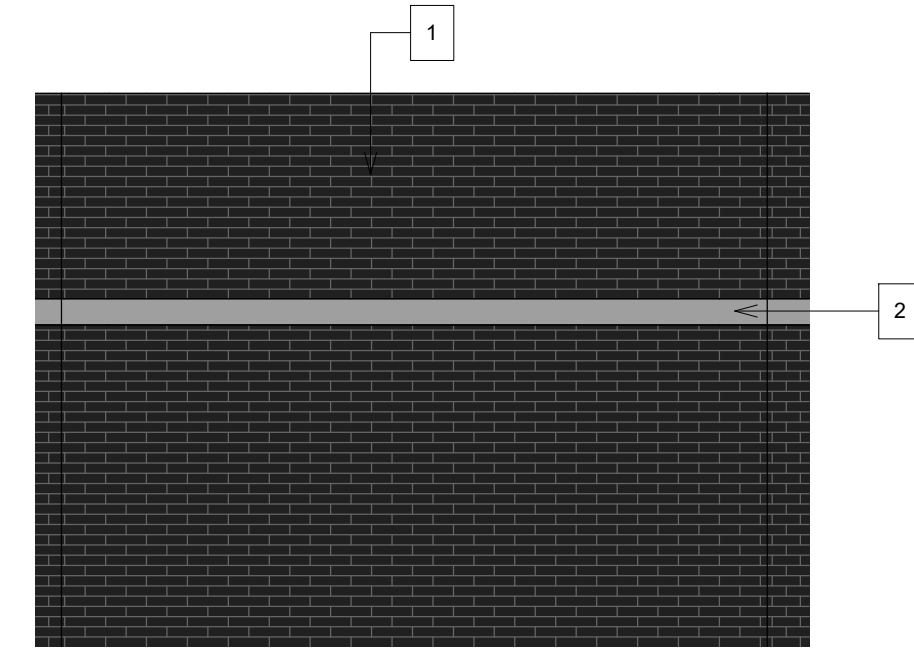
ABBREVIATION / LEGEND	MATERIAL	DESCRIPTION / MANUFACTURE	SAMPLE IMAGE
VG-1	VISION GLAZING	WINDOWS TO BE DOUBLE PANE AND THERMALLY BROKEN WINDOW INSTALLATION DONE TO MANUFACTURERS SPECS AND DETAILS CONTRACTOR TO ENSURE WINDOWS ARE COMPLETE WITH CONTINUOUS FLASHING AND MEMBRANE -CALK ALL JOINTS AND TRANSITIONS	
1	BRICK	RICHVALE YORK BLOC - CAMBRIDGE SERIES BRICK - ONYX - TYPE N MORTAR - CONCAVE JOINTS CONTRACTOR TO PROVIDE SITE MOCK UP BEFORE SUBSTANTIAL WORK IS STARTED	
2	METAL PANEL	APOLIC ACM PANEL SYSTEM PT-10 (RED) CONTRACTOR TO PROVIDE SITE MOCK UP BEFORE SUBSTANTIAL WORK IS STARTED	
3	METAL PANEL	VICWEST METAL PANELS AD300, PT-2 (GREY)	
4	LAP SIDING	FIBER CEMENT LAP SIDING	
5	METAL PANEL	APOLIC ACM PANEL SYSTEM PT-6	

Drawn By: JSF	Date: 2020-08-05 9:09:46 AM	1995-246	A200
Reviewed By: CH	File No. 1995-246		
blueprint2build			
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Revisions	Apr JSF		
Rev 1	2020-07-07	SPA SUBMISSION #1	
File No.	1995-246	A200	

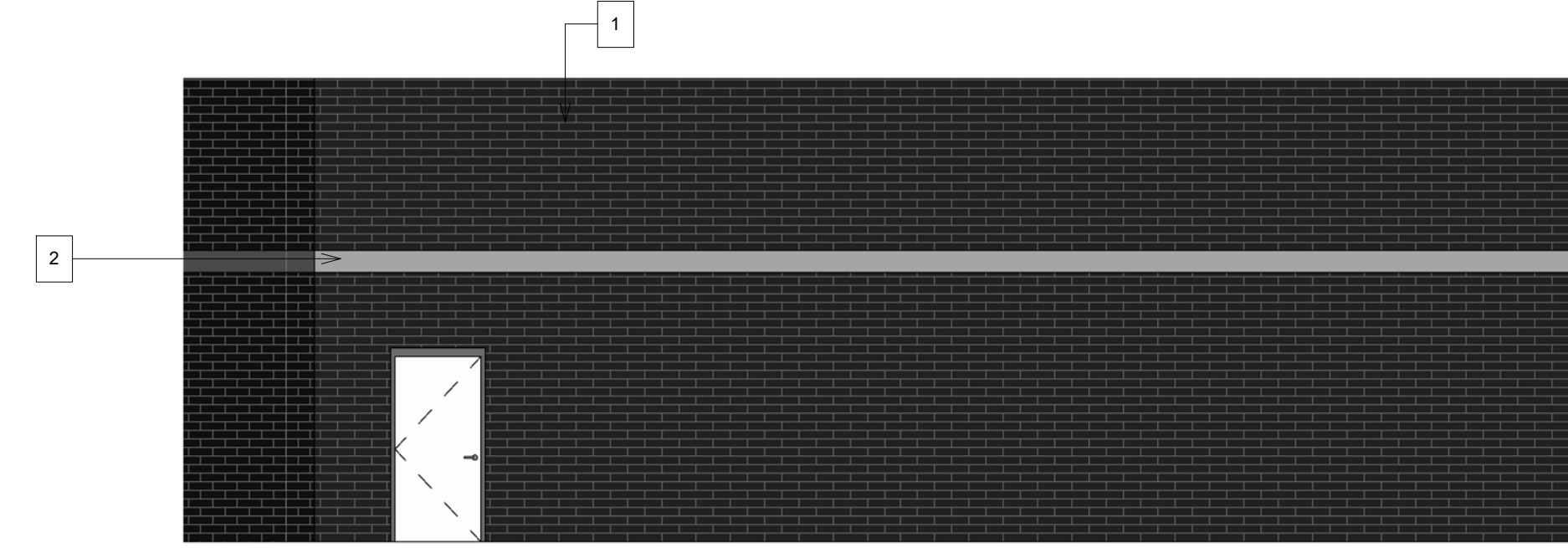
ABBREVIATION LEGEND	MATERIAL	DESCRIPTION / MANUFACTURE	SAMPLE IMAGE
VG-1	VISION GLAZING	-WINDOWS TO BE DOUBLE PANE AND THERMALLY BROKEN -WINDOW INSTALLATION DONE TO MANUFACTURERS SPECS AND DETAILS -CONTRACTOR TO ENSURE WINDOWS ARE COMPLETE WITH CONTIGUOUS FLASHING AND MEMBRANE -CALK ALL JOINTS AND TRANSITIONS	
1	BRICK	RICHVALE YORK BLOC - CAMBRIDGE SERIES BRICK - ONYX - TYPE N MORTAR - CONCAVE JOINTS CONTRACTOR TO PROVIDE SITE MOCK UP BEFORE SUBSTANTIAL WORK IS STARTED	
2	BRICK	RICHVALE YORK BLOC - CAMBRIDGE SERIES BRICK - LIGHT GREY CONTRACTOR TO PROVIDE SITE MOCK UP BEFORE SUBSTANTIAL WORK IS STARTED	
3	METAL PANEL	VICWEST METAL PANELS A2300, PF-2 (GREY)	



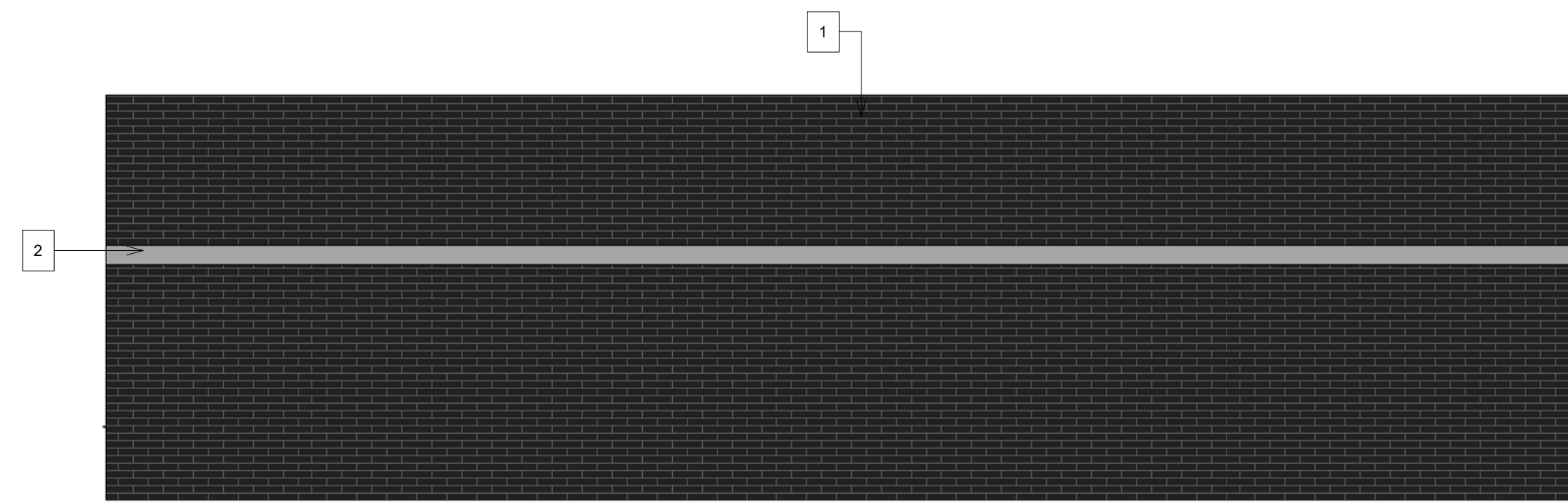
1 BUILDING B EAST
1 : 75



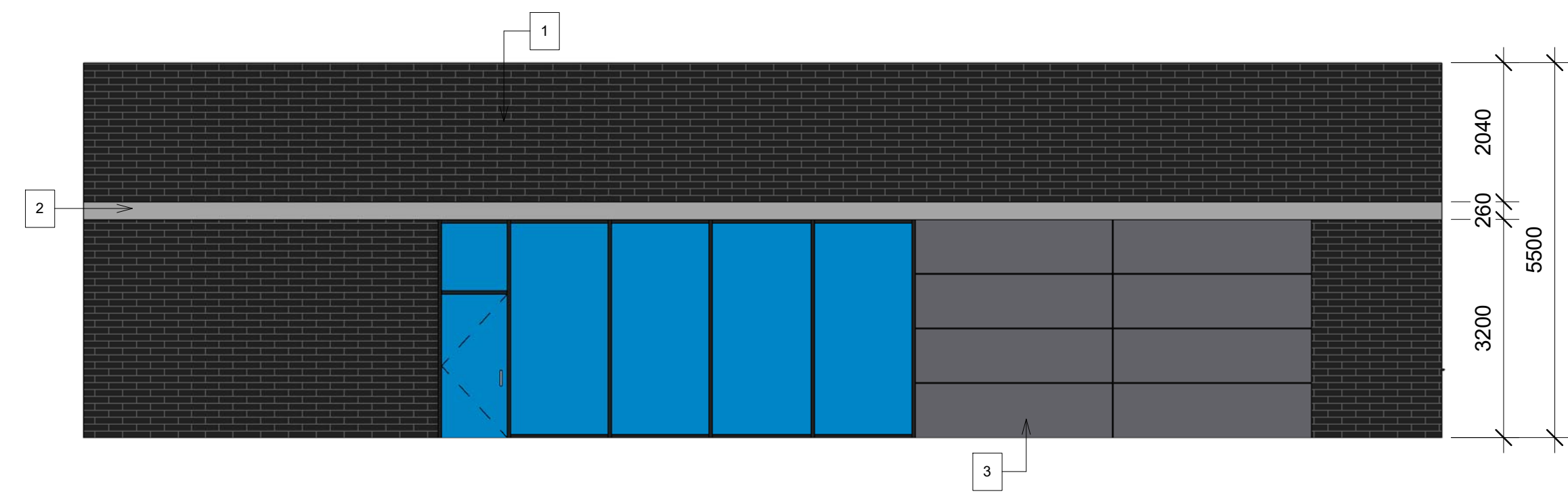
3 BUILDING B NORTH/EAST
1 : 75



2 BUILDING B NORTH
1 : 75

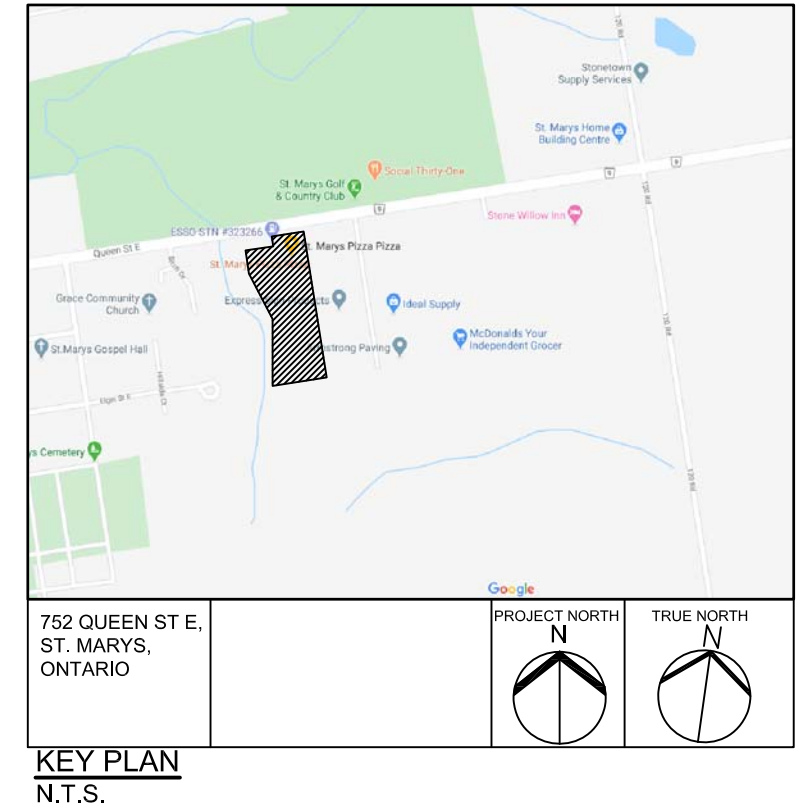
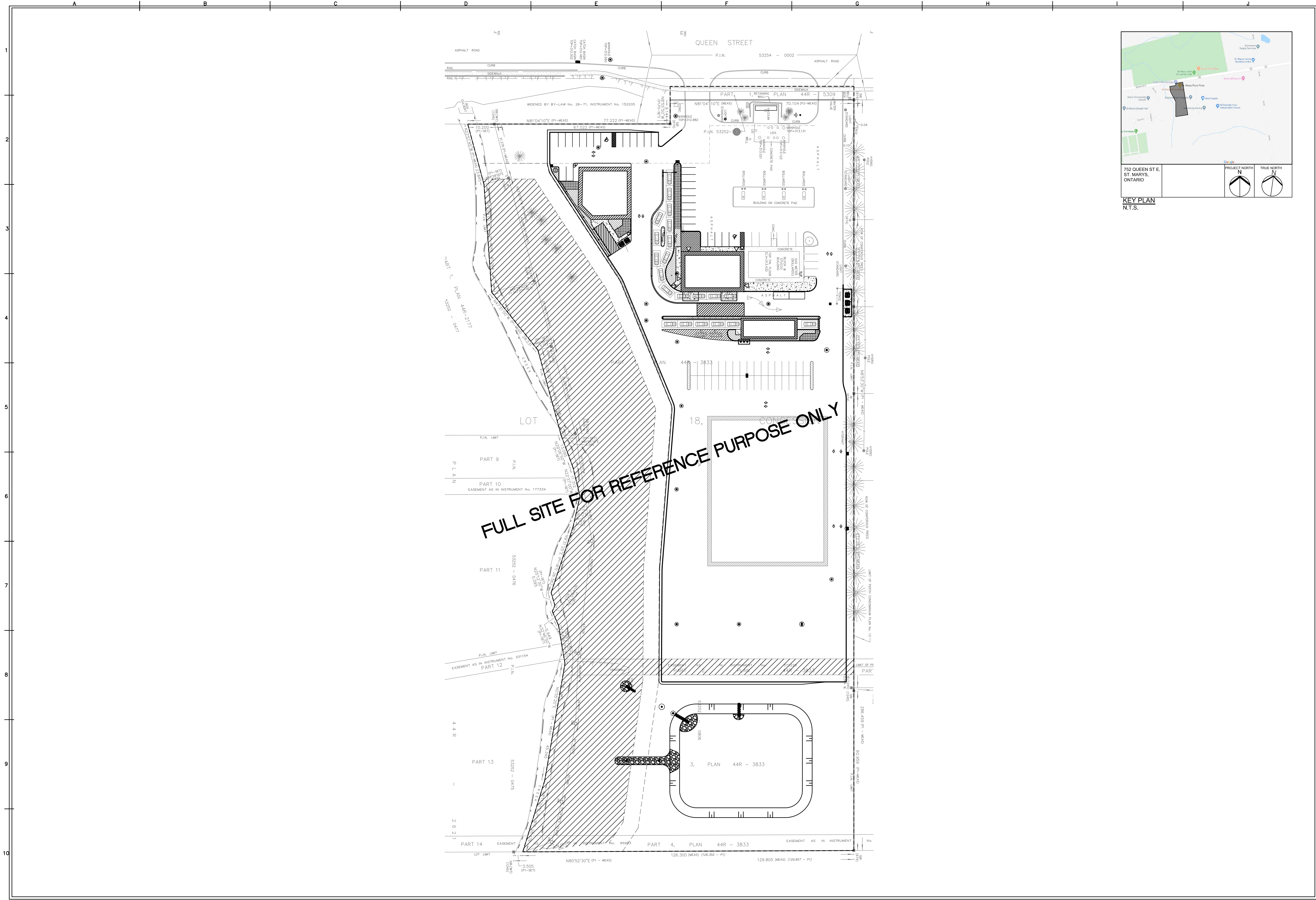


5 BUILDING B WEST
1 : 75

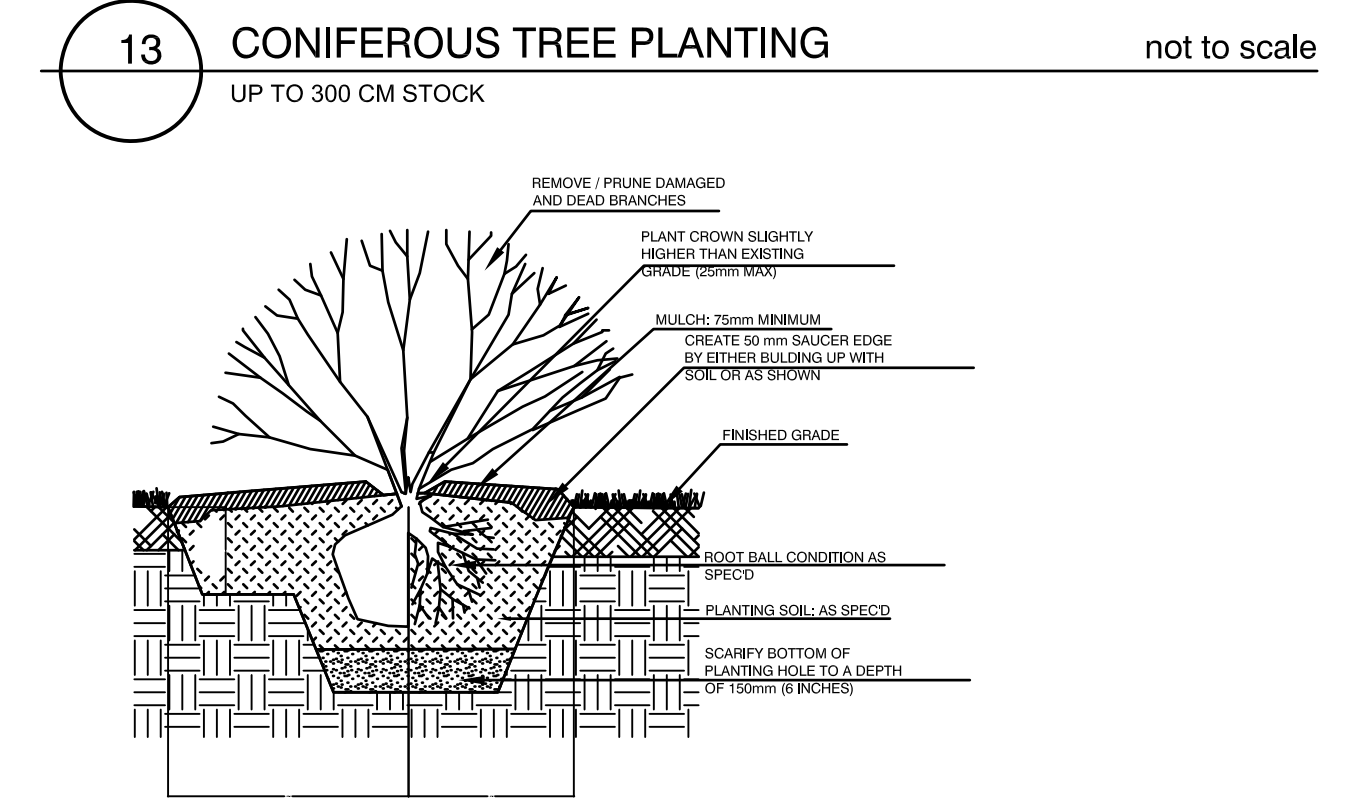
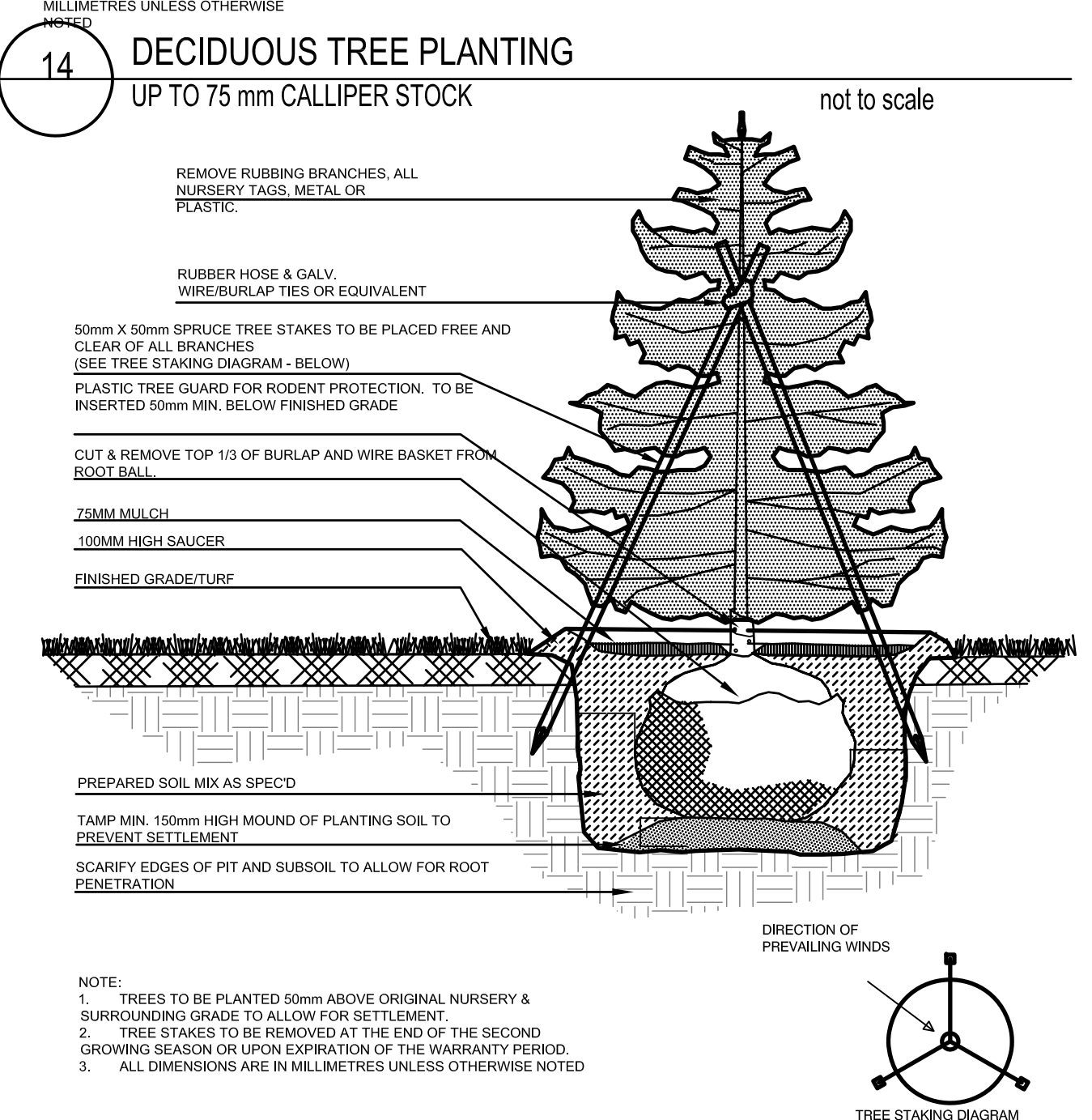
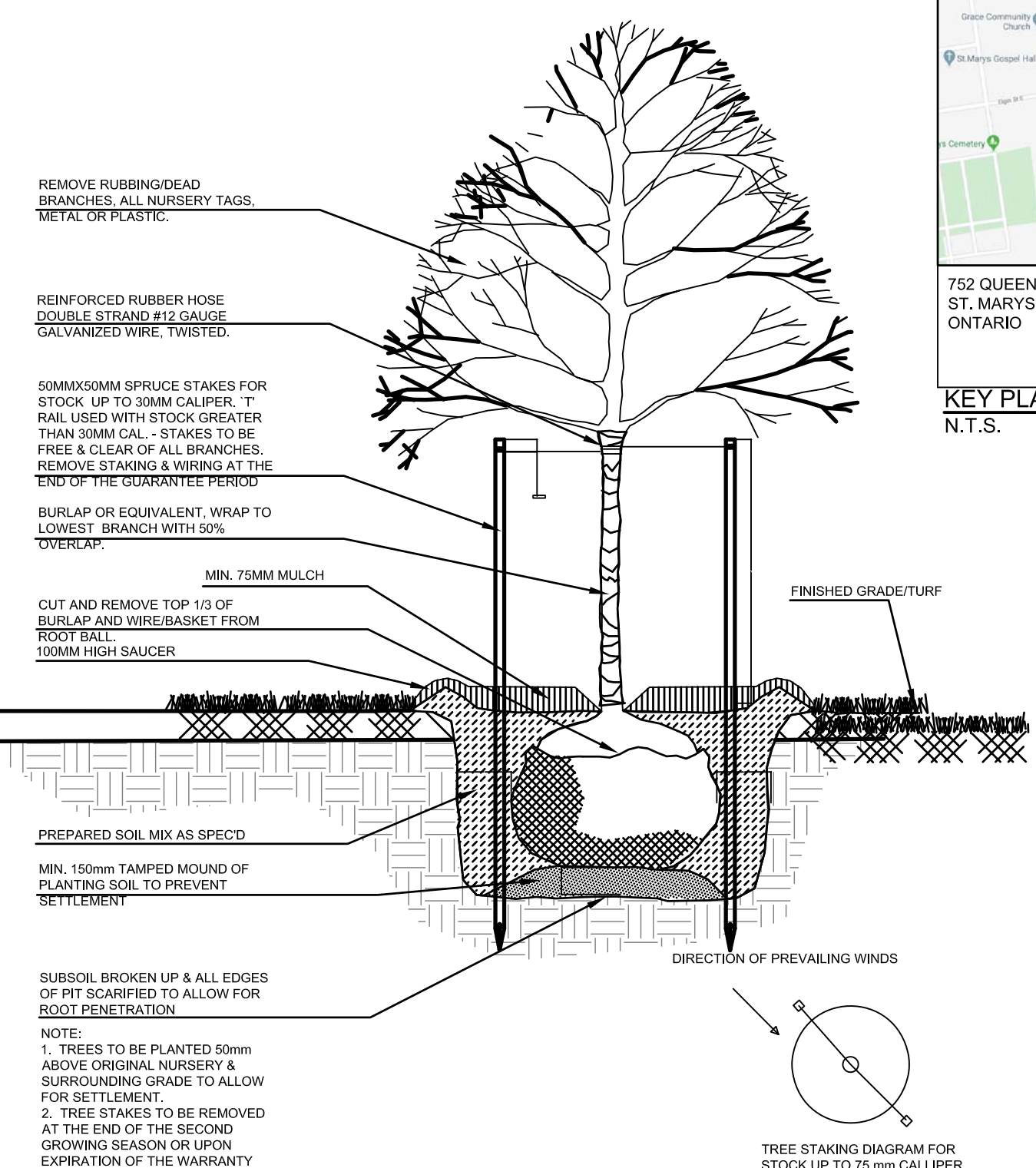
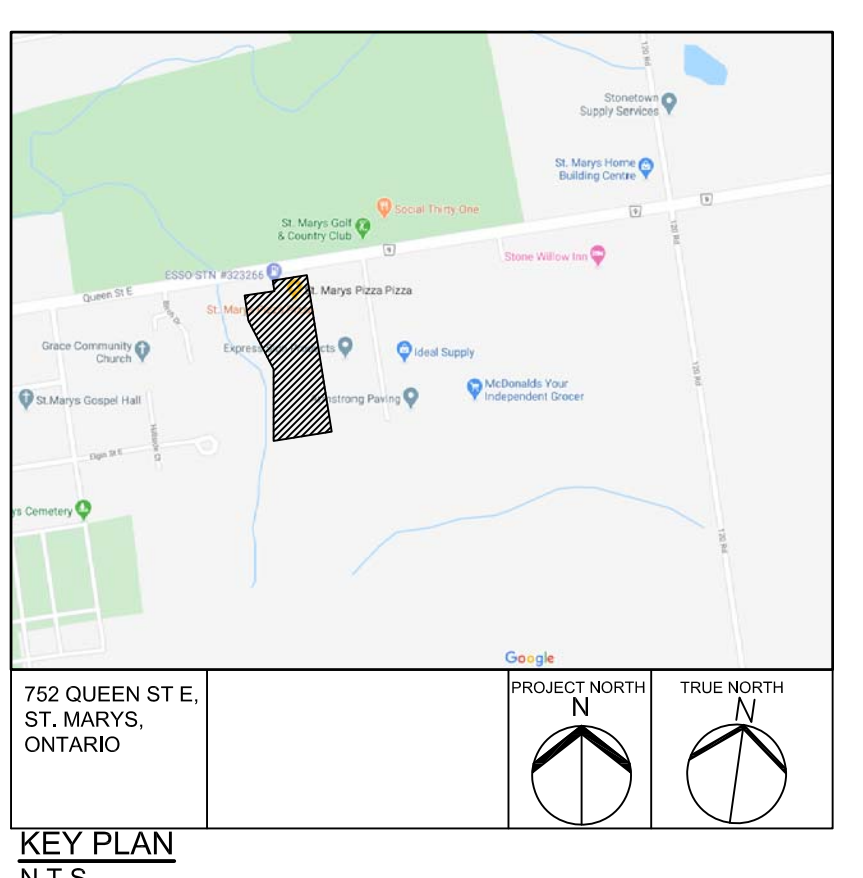
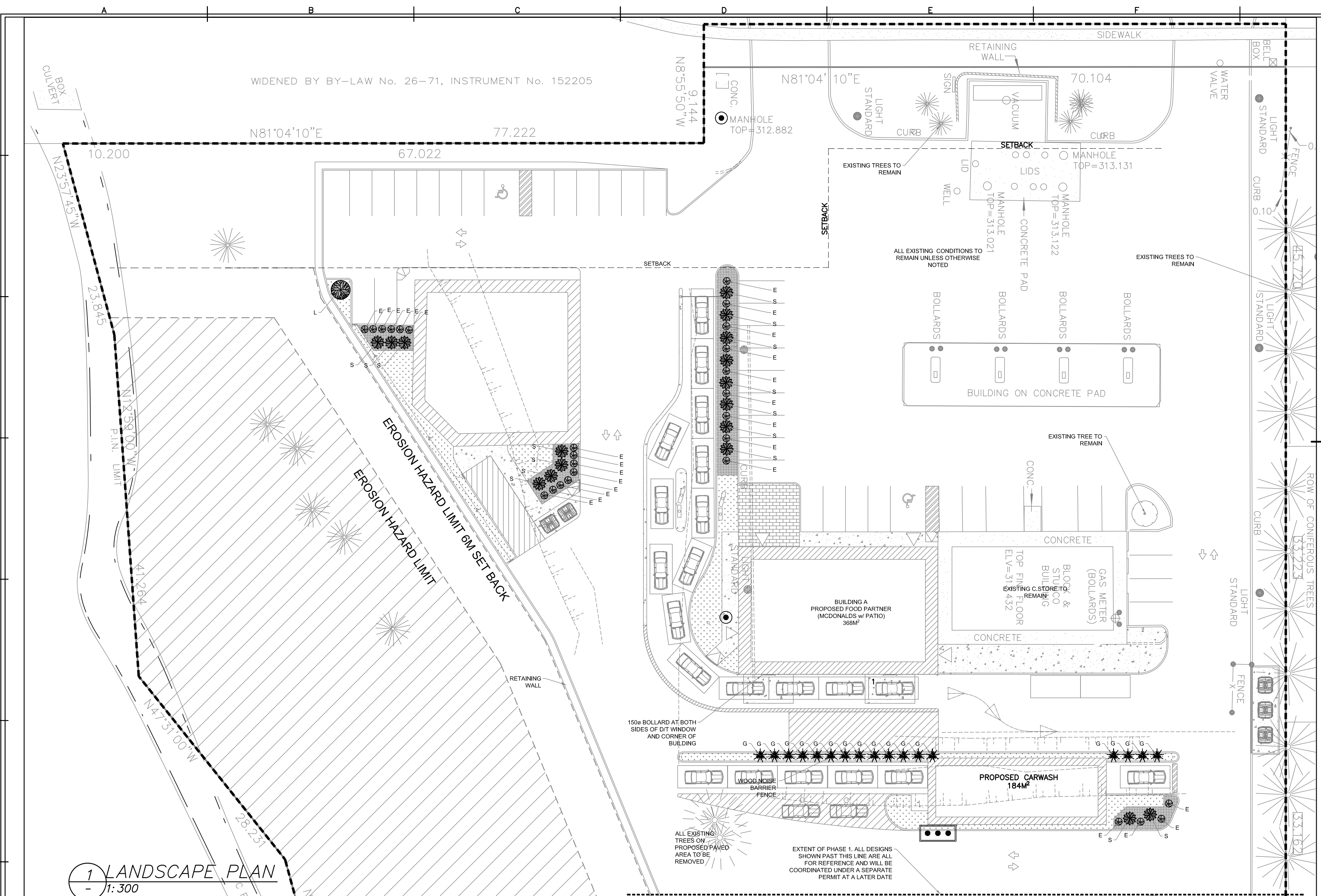


4 BUILDING B SOUTH
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Description: SPA SUBMISSION #1		blueprint2build	
Revisions		BUILDING B ELEVATIONS	
Rev	Date	752 QUEEN STREET EAST, ST. MARYS	
1	2020-07-07		
File No. 1905-246		A201	



Date: 2020/01/21		Date:	
Drawn By: JSF	Reviewed By: SDU	DWG Scale: N/A	SP02
blueprint2build			
SITE PLAN FULL SITE		752 QUEEN ST. E. TOWN OF ST. MARYS, N4X 1G2	
REVISIONS	APRVD		
REV	Date	Description	
01	01-21-20	ISSUED FOR PRE-CONSULT AND COMMENTS	
02	07-08-20	ISSUED FOR SPA SUBMISSION #1	
File No.			
Sheet 3 of 3			



- TREE & SHRUB PLANTING SPECS:**
- All planting material to meet horticultural standards of the Canadian Nursery Trades Association Guide Specification for Nursery Stock. All plant material to be No. 1 Grade and to the approval of the Landscape Designer.
 - Soak root ball with water prior to moving / shipping. Plant stock shipped while in leaf shall be covered when in transit. Bare root stock shall be kept moist at all times. Material that shows significant wind burn, desiccation or excessively dry root balls or containers will not be accepted.
 - Topsoil definitions shall conform to the Canadian System for Soil Classification for Sandy Loam. It shall be:
 - Composed of 20 to 70% sand; 5 to 10% organic matter, minimum 7% but not more than 27% clay
 - Contain no toxic elements or growth inhibiting factors
 - Have a finished surface free from:
 - stones over 30 mm dia.
 - course vegetative matter over 10mm dia. and 100mm long and 2% by volume,
 - weeds and debris.
 - Friable when moist.
 - Have a pH of between 6.5 and 8.0
 - Planting soils:

STANDARD MIX: mixture will consist of: Five (5) parts sandy loam topsoil, two (2) parts sand, one (1) part sterilized manure, one (1) part peat moss, and one (1) part mushroom compost. All planting zones to be excavated 300mm. Existing soils to be tilled in preparation of new planting soil.
 - Trees and shrubs shall bear same relation to finished grade as they bore to previous existing grade.
 - Tree pit & saucer and planting beds shall be soaked with water & mulched immediately following planting. Top dress area immediately over root mass (saucer area) with bonemeal
 - Mulch material shall consist of a compacted depth of 3" (75mm) of - shredded pine bark
 - Do not remove tags until final inspection of material
 - Damaged material will be rejected. Trees without leaders, trunk wounds or damaged major limbs will be rejected. Shrubs with damaged branches or insufficient root mass will be rejected.
 - All material delivered to site shall be either watered immediately or within 24 hours warranted by the moisture content of the root balls/containers.
 - All material that can not be planted within 48 hours of delivery shall be healed in on site and be kept properly protected from desiccation by wind or sun
 - Bare root stock shall be protected at all times from desiccation and damage in handling.
 - No plant substitutions will be permitted without written approval of the Landscape Architect. Plant identification tags for all plant material are to remain on material until inspected.
 - Contractor is to apply in writing regarding any changes to contract documents and will provide the Landscape Architect with documentation and/or drawings for the preparation As Built drawings.
 - All shrubs to be planted in continuous mulched beds.
 - Rodent Protection for all Trees:

Spiral wrapped around plastic tree protector 24 inches high. Ensure that the bottom 50mm of the tree guard extends below soil to prevent entry by rodent.
 - Rodent Protection for all Shrubs:

All shrubs to be treated with an application of rodent repellent (Skoot or approved substitute) prior to each winter season through the warranty period

1 LANDSCAPE PLAN
1:300

QNTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT FULL GROWN	SPREAD	SPACING
		DECIDUOUS TREES					
1	L	QUERUS ROBUR 'FASTIGIATA'	COLUMNAR OAK	50MM	10M	4.5M	MIN 5M
		CONIFEROUS SHRUBS					
27	E	PINUS MUGO 'SNOWMOUND'	SNOWMOUND MUGO PINE	40MM	750MM	500MM	MIN 600M
		PERENNIALS					
9	S	SEDUM X 'AUTUMN JOY'	AUTUMN JOY SEDUM	50MM	600MM	500MM	MIN 600M
		GRASSES					
17	G	CALAMAGRUSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	50MM	900MM	300MM	MIN 300M

- ALL PLANTING MATERIAL TO MEET HORTICULTURAL STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION GUIDE SPECIFICATION FOR NURSERY STOCK. ALL PLANT MATERIAL TO BE NO.1 GRADE AND TO THE APPROVAL OF THE LANDSCAPE DESIGNER.
- SOAK ROOT BALL WITH WATER PRIOR TO MOVING/SHIPPING. PLANT STOCK SHIPPED WHILE IN LEAF SHALL BE COVERED WHEN IN TRANSIT. BARE ROOT STOCK SHALL BE KEPT MOIST AT ALL TIMES. MATERIAL THAT SHOWS SIGNIFICANT WIND BURN, DESICCATION OR EXCESSIVELY DRY ROOT BALLS OR CONTAINERS WILL NOT BE ACCEPTED.
- TOPSOIL DEFINITIONS SHALL CONFORM TO THE CANADIAN SYSTEM FOR SOIL CLASSIFICATION FOR SANDY LOAM. IT SHALL BE:
 - COMPOSED OF 20 TO 70% SAND; 5 TO 10% ORGANIC MATTER, MINIMUM 7% BUT NOT MORE THAN 27% CLAY
 - CONTAIN NO TOXIC ELEMENTS OR GROWTH INHIBITING FACTORS
 - HAVE A FINISHED SURFACE FREE FROM:
 - STONES OVER 30MM DIA
 - COURSE VEGETATIVE MATTER OVER 10MM DIA. AND 100MM LONG 2% BY VOLUME
 - WEEDS AND DEBRIS
 - FRIABLE WHEN MOSIT.
 - HAVE APH OF BETWEEN 6.5 AND 8.0
- PLANTING SOILS:

STANDARD MIX: MIXTURE WILL CONSIST OF: FIVE (5) PARTS SANDY LOAD TOPSOIL, TWO (2) PARTS SAND, ONE (1) PART STERILIZED MANURE, ONE (1) PART PEAT MOSS, AND ONE (1) PART MUSHROOM COMPOST. ALL PLANTING ZONES TO BE EXCAVATED 300MM. EXISTING SOILS TO BE TILLED IN PREPARATION OF NEW PLANTING SOIL.
- TREES AND SHRUBS SHALL BEAR SAME RELATION TO FINISHED GRADE AS THEY BORE TO PREVIOUS EXISTING GRADE.
- TREE PIT & SAUCER AND PLANTING BEDS SHALL BE SOAKED WITH WATER & MULCHED IMMEDIATELY FOLLOWING PLANTING. TOP DRESS AREA IMMEDIATELY OVER ROOT MASS (SAUCER AREA) WITH BONEMEAL.

LANDSCAPE LEGEND

- COLUMNAR OAK
- SNOWMOUND MUGO PINE
- AUTUMN BLAZE MAPLE
- AUTUMN JOY SEDUM
- FEATHER REED GRASS
- BLACK MULCH
- SOD

Date: 2020/01/21
 Drawn By: JSF
 Reviewed By: SDJ
 DWG. Scale: N/A
 LP01

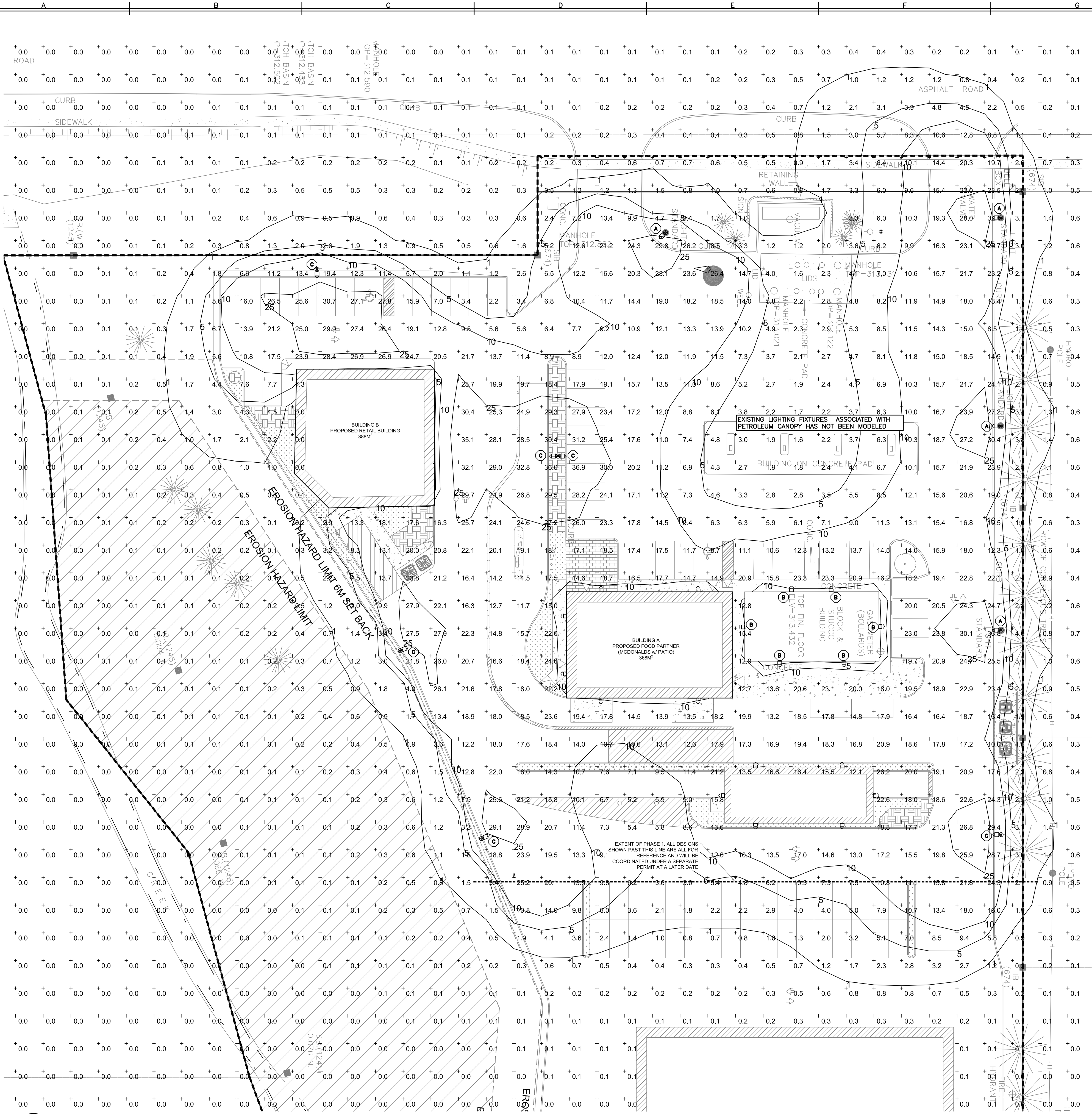
blueprint2build

LANDSCAPE PLAN

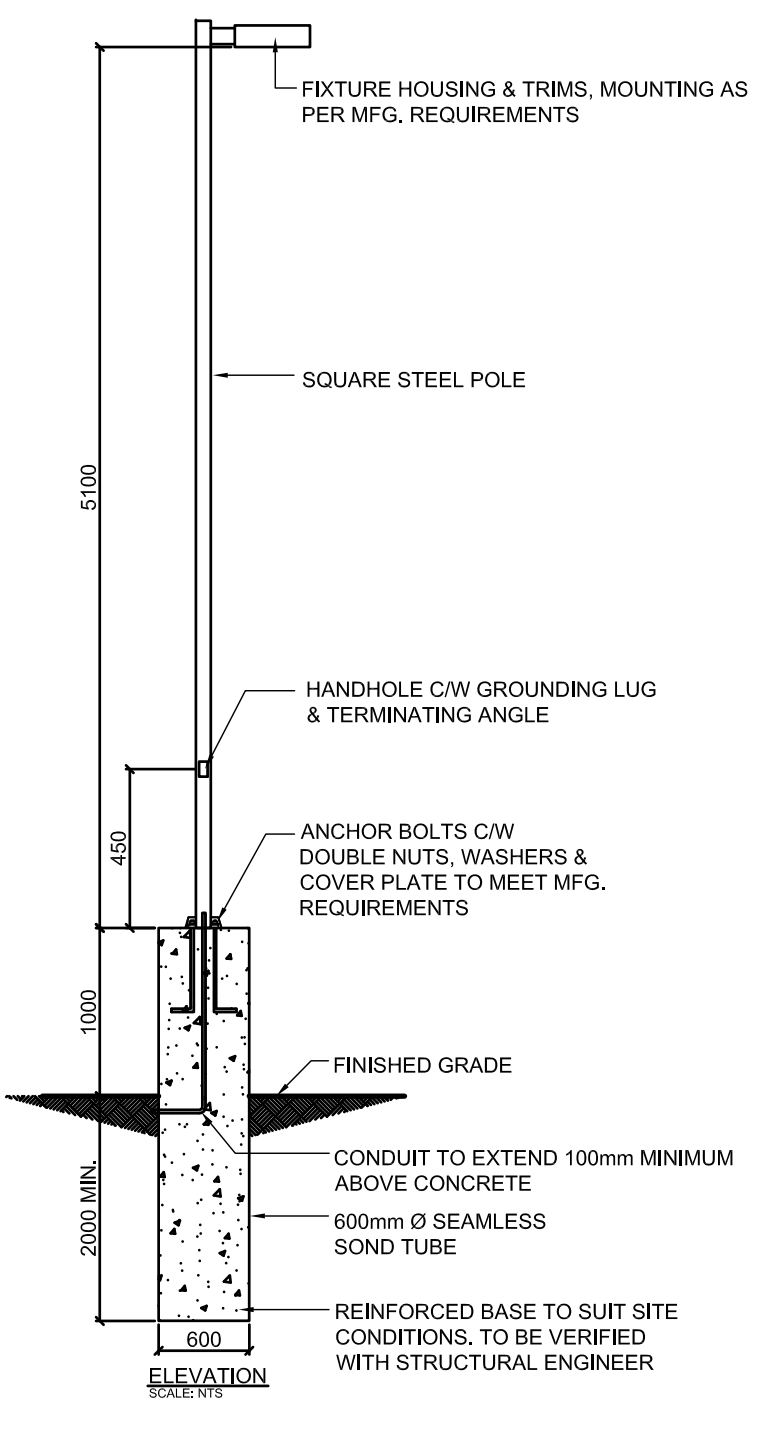
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TOWN OF ST. MARYS, N4X 1G2

REV	Date	Description	APRVD
01	01-21-20	ISSUED FOR PRE-CONSULT AND COMMENTS	

File No. _____
 Sheet 1 of 3



1 SITE PLAN
1:300



NOTES:
 - CONFIRM ANCHOR BOLT CIRCLE DIMENSIONS WITH POLE MFR. BEFORE CONSTRUCTING BASE
 - ALL STRUCTURAL DESIGN ELEMENTS BY OTHERS, CONSULT STRUCTURAL ENGINEER, GEOTECH REPORT AND ENGAGE SOIL ENGINEER BEFORE CONSTRUCTING BASE
 - STRUCTURAL ENGINEER TO CONFIRM ANCHOR BOLT SIZING AND CONCRETE SPECIFICATIONS

2 TYPICAL LIGHT STANDARD DETAIL
NTS

LIGHTING NOTES:

- DO NOT SCALE DRAWING. ALL LOCATIONS AND SITE CONDITIONS ARE TO BE REVIEWED AND CONFIRMED BY THE CONTRACTOR/OWNER/SUPPLIER PRIOR TO ORDERING EQUIPMENT.
- ALL CABLE/CONDUIT ROUTING AND TERMINATIONS WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND WILL SUIT FIELD CONDITIONS AND EQUIPMENT LOCATION.
- ALL SHOWN EQUIPMENT IS IN THE APPROXIMATE LOCATION. FINAL LOCATION TO SUIT FIELD CONDITIONS.
- PHOTOMETRIC DOES NOT ACCOUNT FOR ADDITIONAL LIGHTING FROM OTHER POSSIBLE SOURCES INCLUDING EXISTING LIGHTING FIXTURES ON ADJACENT OR CITY PROPERTIES.
- ELECTRICAL CONTRACTOR TO INSTALL ALL FIXTURES ACCORDING TO LATEST EDITION OF ELECTRICAL CODE AND MANUFACTURERS RECOMMENDATIONS.
- ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOVOLTAIC SENSORS AT A MINIMUM, FINAL LIGHTING CONTROL BY OTHERS.
- ELECTRICAL CONTRACTOR SHALL:
 - PROVIDE ALL LABOUR, MATERIAL AND EQUIPMENT NECESSARY TO COMPLETE ALL ELECTRICAL WORK TO ALL APPLICABLE CODES, BEST INDUSTRY PRACTICES AND WORKMANSHIP.
 - COORDINATE INSTALLATION OF ELECTRICAL FEEDS WITH OWNER AND OTHER TRADES.
 - APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS, EXAMINATIONS AND FEES REQUIRED TO COMPLETE ALL ELECTRICAL WORK. ITEMS INCLUDE BUT NOT LIMITED TO ESA REVIEW AND APPROVALS, THIRD PARTY VERIFICATION, ESA INSPECTIONS, ETC..

LEGEND:

- +19 ILLUMINANCE IN LUX AT THE GROUND LEVEL
- (X) LOCATION OF LUMINARY WITH LETTER DENOTING TYPE OF FIXTURE
- ↑ ARROW INDICATES MOUNTING DIRECTION OF FIXTURE WITH DIRECTIONAL OPTICS

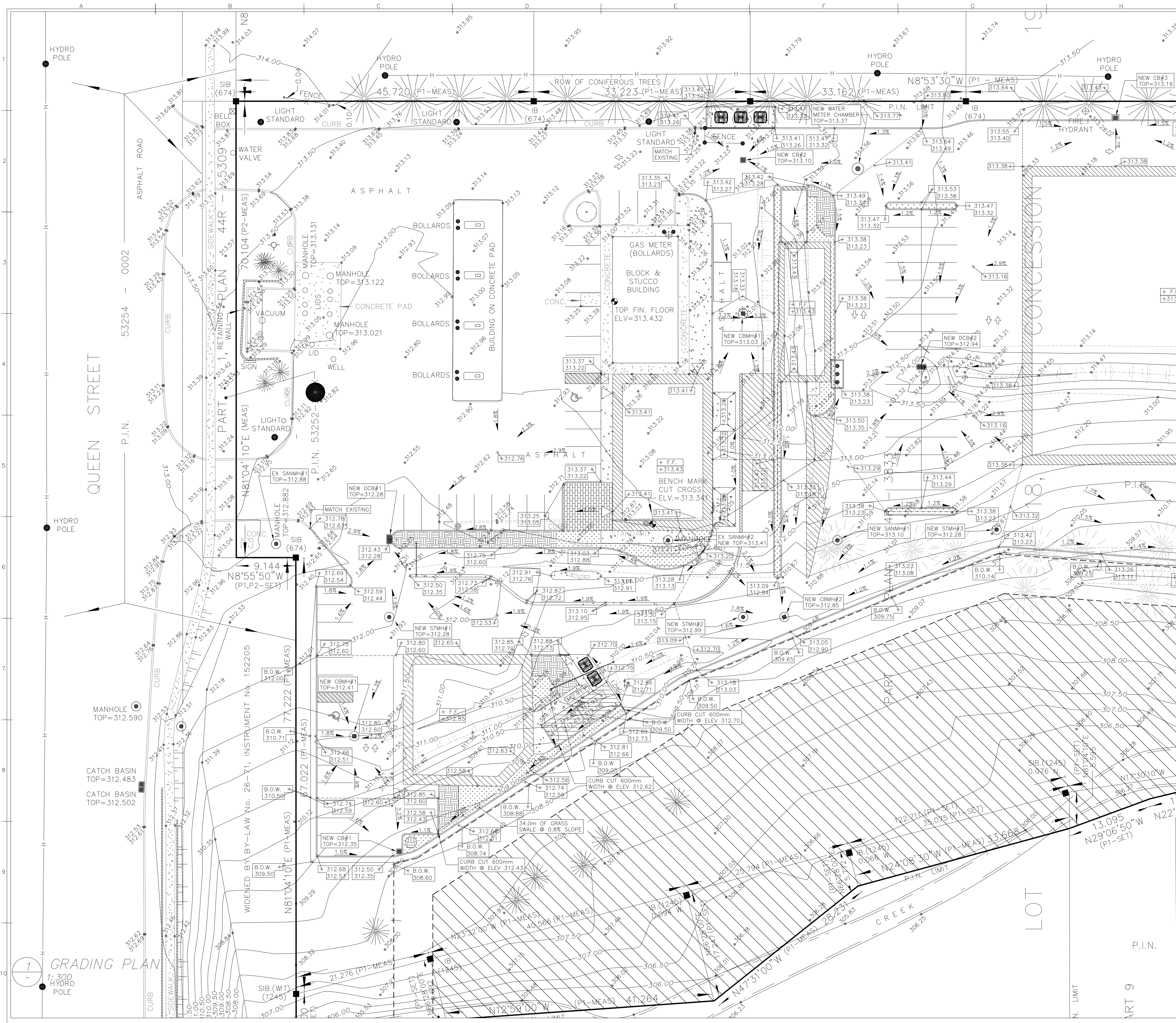
LIGHTING FIXTURE SCHEDULE:	
TYPE	DESCRIPTION
(A)	EXISTING COOPER LIGHTING SOLUTIONS GLEON GALLEON LED AREA LUMINAIRE, TYPE IV LIGHT DISTRIBUTION WITH LIGHT SPILL CONTROL, 4000K, CATALOG NUMBER GLEON-AA-024-LED-347-SL4, MOUNTING HEIGHT OF 6.1m
(B)	EXISTING COOPER LIGHTING SOLUTIONS IST IMPACT ELITE TRAPEZOID WALL PACK, 4000K, CATALOG NUMBER IST-801-LED-347-BL4, APPROXIMATE MOUNTING HEIGHT OF 4.0m
(C)	COOPER LIGHTING SOLUTIONS GLEON GALLEON LED AREA LUMINAIRE, TYPE IV LIGHT DISTRIBUTION WITH LIGHT SPILL CONTROL, 4000K, CATALOG NUMBER GLEON-AA-024-LED-347-SL4, TOTAL FIXTURE WATTAGE IS 113.0W AND 0.90 LFL WAS USED, MOUNTING HEIGHT OF 6.1m
(D)	COOPER LIGHTING SOLUTIONS ISW IMPACT ELITE TRAPEZOID WALL PACK, 4000K, CATALOG NUMBER ISW-AA-350-LED-E-1-SL4, TOTAL FIXTURE WATTAGE IS 20.1W AND 0.90 LFL WAS USED, MOUNTING HEIGHT OF 4.0m

DESCRIPTION	STATISTICS				
	AVERAGE	MAX	MIN	MAX:MIN	AVG:MIN
AREA BOUND BY PROPERTY LINE PHASE 1	9.6 LUX	86.8 LUX	0.0 LUX	N/A	N/A
AREA BOUND BY ASPHALT/GRAVEL PHASE 1	21.0 LUX	86.8 LUX	0.6 LUX	144.7 : 1	35.0 : 1

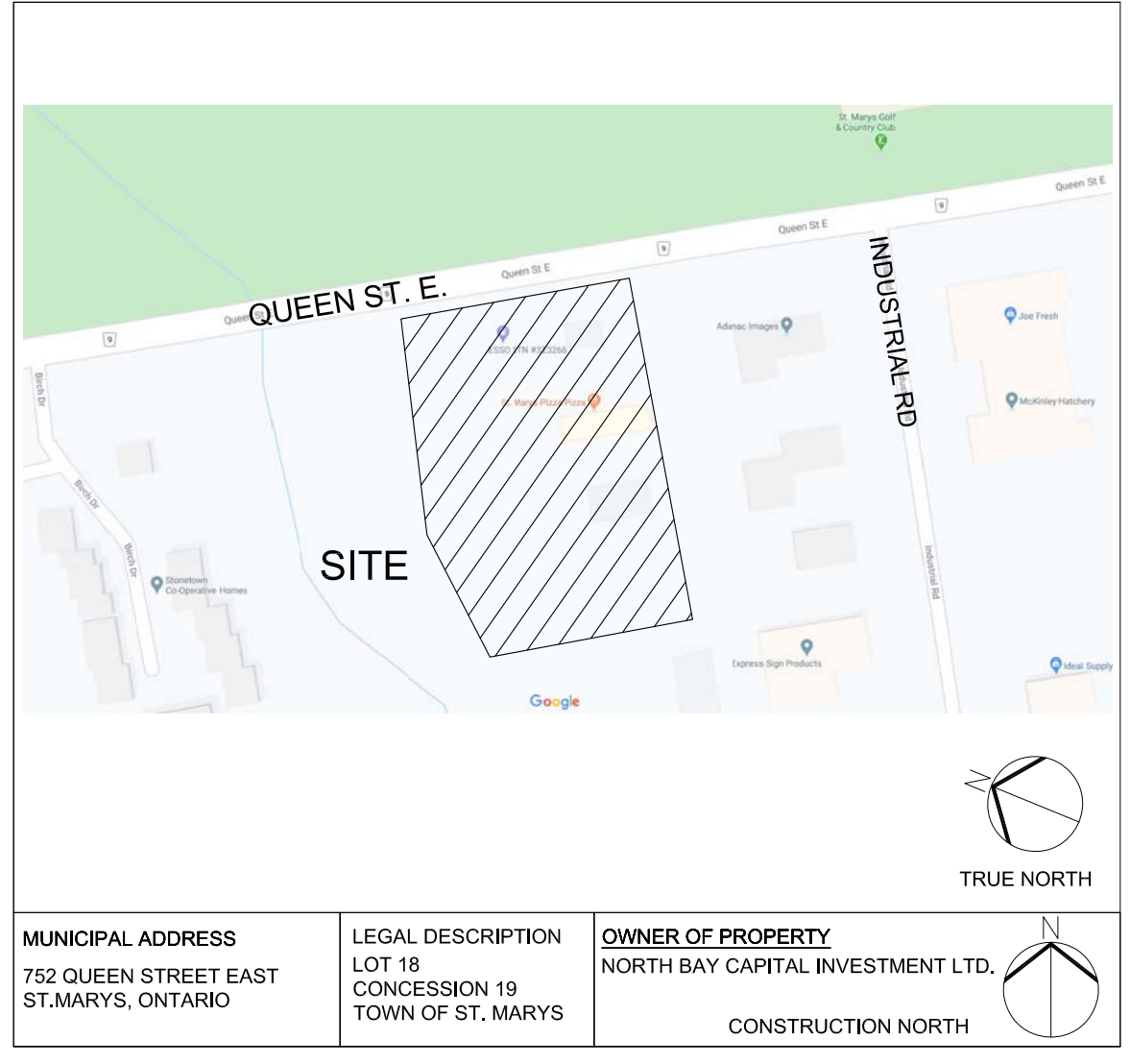
Drawn By:	JSF	Date:	2020/01/21
Reviewed By:	SDJ	Date:	
DWG Scale:	N/A		

REVISIONS	APRVD				
REV	Date	Description	ISSUED FOR REF-CONSULT AND COMMENTS		
01	01-21-20				

PHOTOMETRIC PLAN
PHASE 1
752 QUEEN ST. E
TOWN OF ST. MARYS, N4X 1G2



KEY PLAN



MUNICIPAL ADDRESS 752 QUEEN STREET EAST ST. MARYS, ONTARIO	LEGAL DESCRIPTION LOT 18 CONCESSION 19 TOWN OF ST. MARYS	OWNER OF PROPERTY NORTH BAY CAPITAL INVESTMENT LTD. CONSTRUCTION NORTH
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KEY PLAN
N.T.S.
LOT 18, CONCESSION 19 (GEOGRAPHIC TOWNSHIP OF BLANSHARD) TOWN OF ST. MARYS, COUNTY OF PERTH, ONTARIO

BEARING NOTE
BEARING SHOWN HEREON ARE ASTROMOMIC AND ARE REFERRED TO THE SOUTH LIMIT OF QUEEN STREET, AS WIDENED, HAVING A BEARING OF N81°04'10"E ACCORDING TO PLAN 44R-3833

ELEVATION NOTES
ELEVATIONS ARE GEODETIC AND DERIVED FROM THE CANSEL CAN-NET REAL TIME NETWORK AND ARE MEASURED IN ZONE 17N NAD 83 (CSRS-2010)

SITE BENCH MARK
CUT CRESS AT BASE OF LIGHT STAND SOUTH OF THE STUCCO BLOCK BUILDING
ELEVATION = 313.341

- GENERAL NOTES:**
- LEGAL BOUNDARY SURVEY AND TOPOGRAPHICAL ELEVATIONS BASED ON SURVEY DONE BY NA GEOMATICS INC. DATED: 27 FEBRUARY 2020 FILE NUMBER: 20-6006.
 - SITE SERVICING INFORMATION WITHIN THE PROPERTY TAKEN FROM GRADING AND SERVICING PLAN GD-2 PROJECT NUMBER 13-32 BY BOSETECH CONSULTING INC. DATED: NOVEMBER 2013
 - ALL SITE FEATURES ARE TO BE CONSIDERED NEW UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO ENSURE ALL SETBACKS ARE MAINTAINED DURING CONSTRUCTION OF SITE.
 - OWNER OR OWNER REPRESENTATIVE ARE TO BE NOTIFIED OF ANY ERRORS OR OMISSIONS THAT ARE DISCOVERED.
 - OWNER OR OWNER REPRESENTATIVE ARE RESPONSIBLE FOR FINAL CONFIRMATION AND PLACEMENT OF ALL EQUIPMENT.
 - CONTRACTOR TO HAVE LOCATES DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
 - ALL DIMENSIONS ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO CONSTRUCTION.
 - DO NOT SCALE DRAWINGS.

LEGEND:

- STANDARD IRON BAR
- 100.00 EXISTING ELEVATION
- EXISTING CATCHBASIN
- EXISTING C.B./M.H.
- EXISTING MANHOLE
- R.L. RIDGE LINE
- 2.0% SLOPE
- ⊙ STREET LIGHT
- F.W.F.G. FLUSH WITH FINISH GRADE
- A.F.G. ABOVE FINISH GRADE
- + 100.00 PROPOSED ELEVATION
- + 100.15 PROP. ELE. (CURB TOP)
- + 100.00 PROP. ELE. (CURB BOTTOM)
- + 100.00* EXISTING ELEVATION TO REMAIN
- NEW CATCHBASIN
- NEW C.B./M.H.
- NEW MANHOLE
- G NEW GAS LINE
- W NEW WATER LINE
- SS NEW SANITARY LINE
- ST NEW STORM LINE

Drawn By: S.K.	Date: 2020-03-24
Reviewed By: JEF/SJD	Date: 2020-03-24
DWG Scale: 1:300	
File No. 1905-246-00	

C01.1

blueprint2build

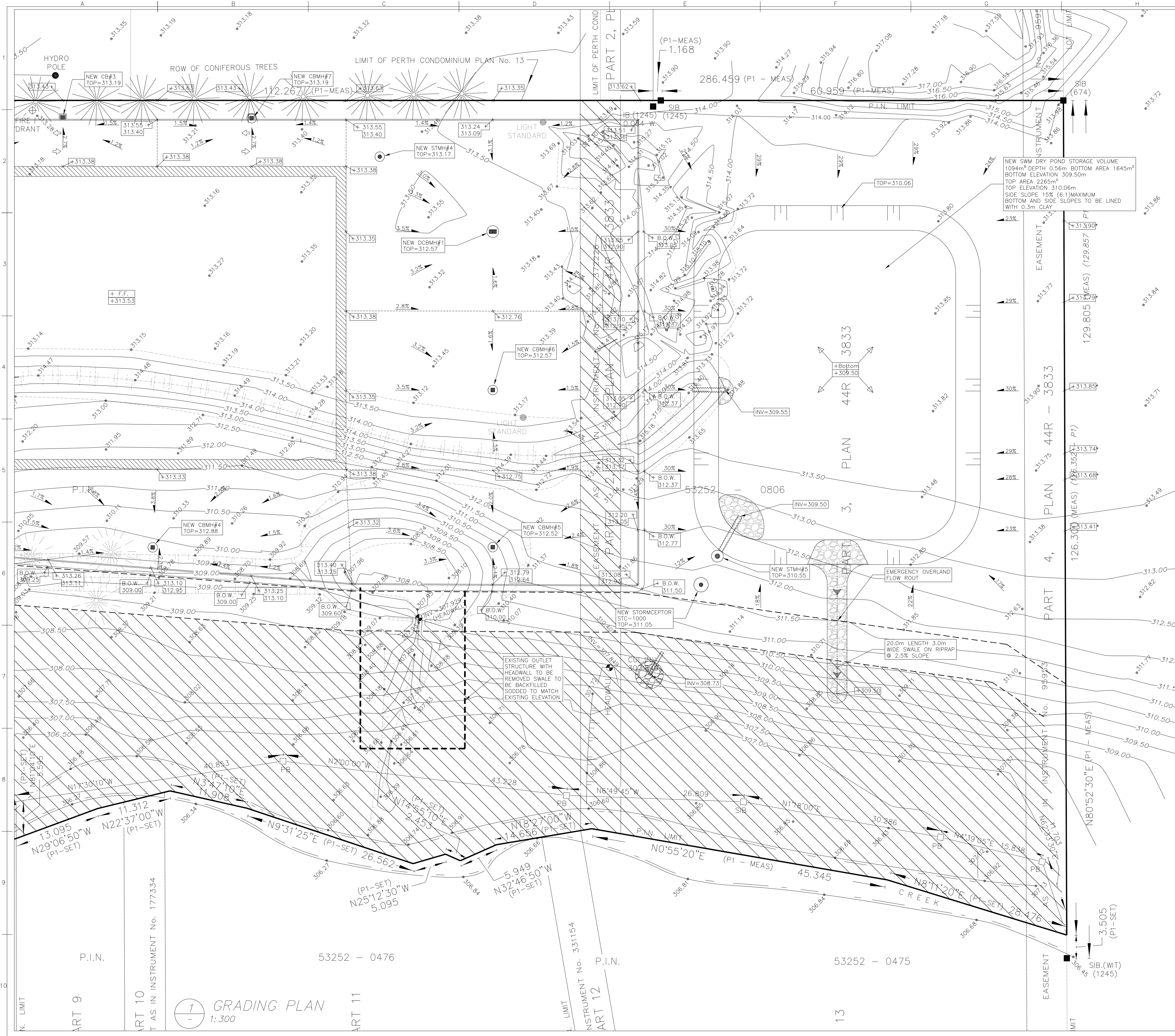


SITE GRADING PLAN
NORTH PART
752 QUEEN STREET EAST
ST. MARYS, ONTARIO

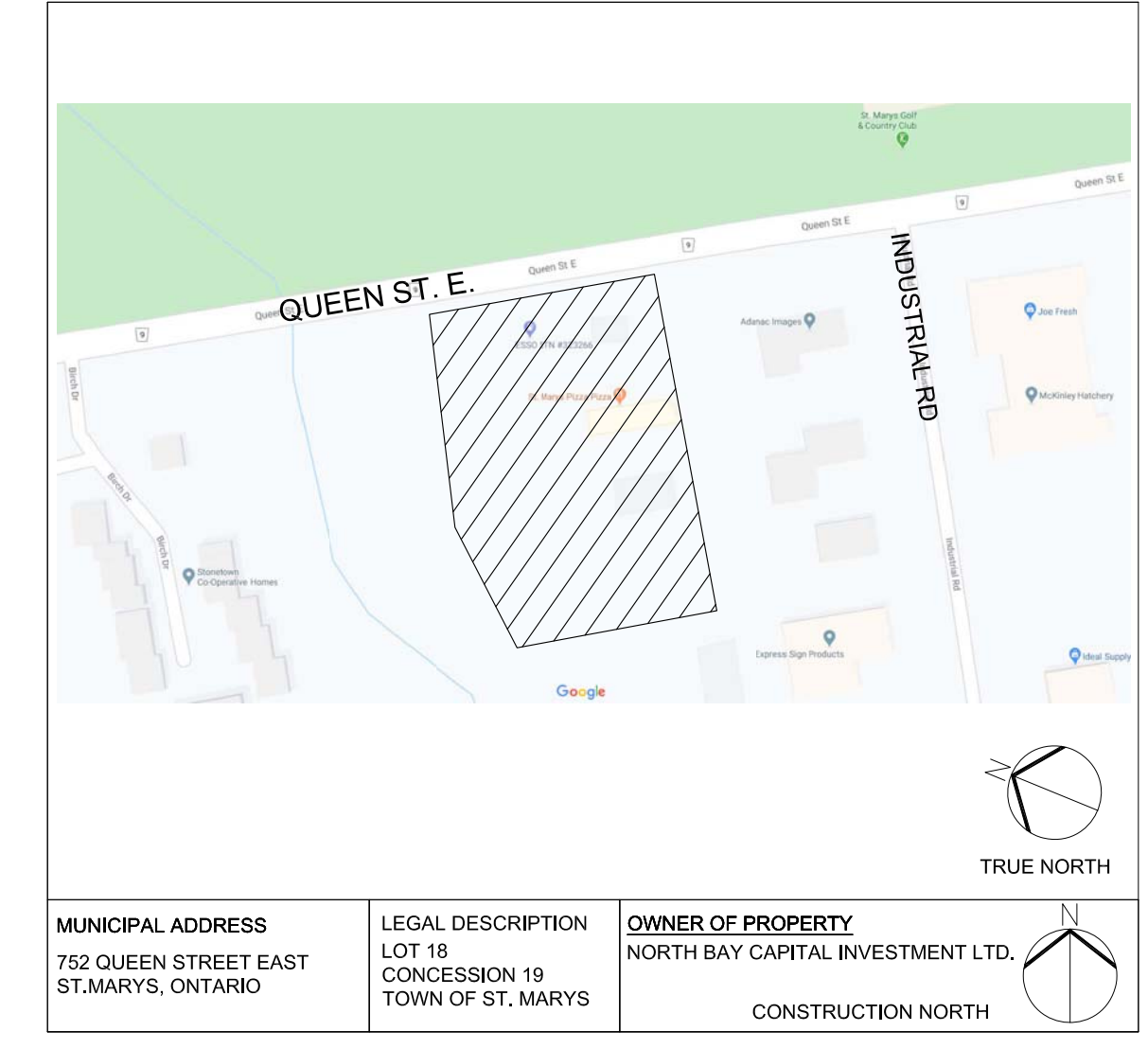
REV	Date	Description	APRVD
01	24.03.20	ISSUED FOR REVIEW	SK
02	23.06.20	UPDATED AS PER NEW SITE PLAN	SK
03	07.10.20	ISSUED FOR SPA #1	SK

File No. 1905-246-00

C01.1



KEY PLAN



KEY PLAN
N.T.S.
LOT 18, CONCESSION 19 (GEOGRAPHIC TOWNSHIP OF BLANSHARD) TOWN OF ST. MARYS, COUNTY OF PERTH, ONTARIO

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- + 100.00* EXISTING ELEVATION TO REMAIN
- NEW CATCHBASIN
- NEW C.B./M.H.
- NEW MANHOLE
- G — NEW GAS LINE
- W — NEW WATER LINE
- SS — NEW SANITARY LINE
- ST — NEW STORM LINE

C01.2

Date: 2020-03-24
S.K.
Reviewed By: JEF/SJU
Date: 2020-03-24
DWG Scale: 1:300
File No. 1905-246-00

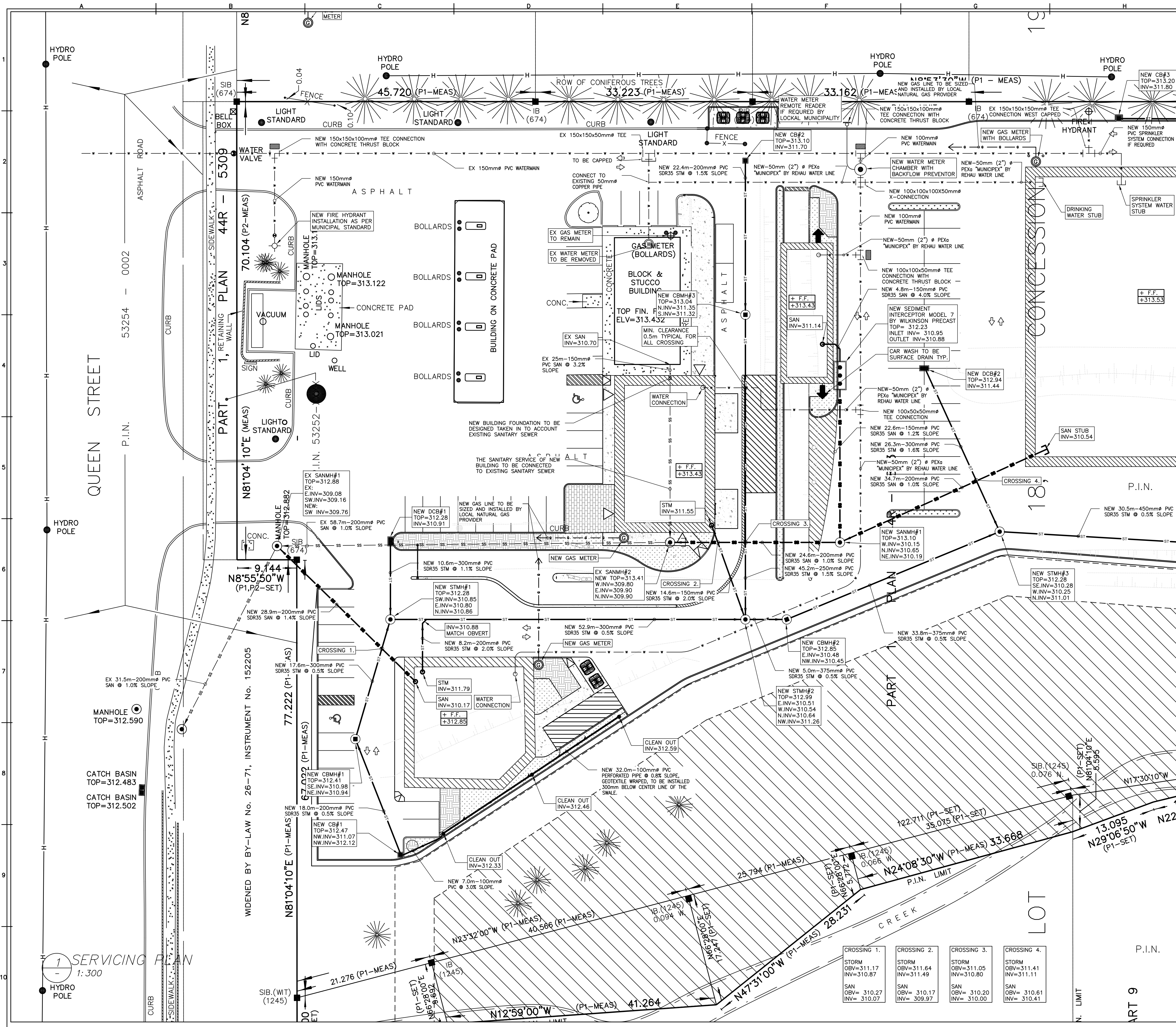
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**SITE GRADING PLAN
SOUTH PART**
752 QUEEN STREET EAST
ST. MARYS, ONTARIO

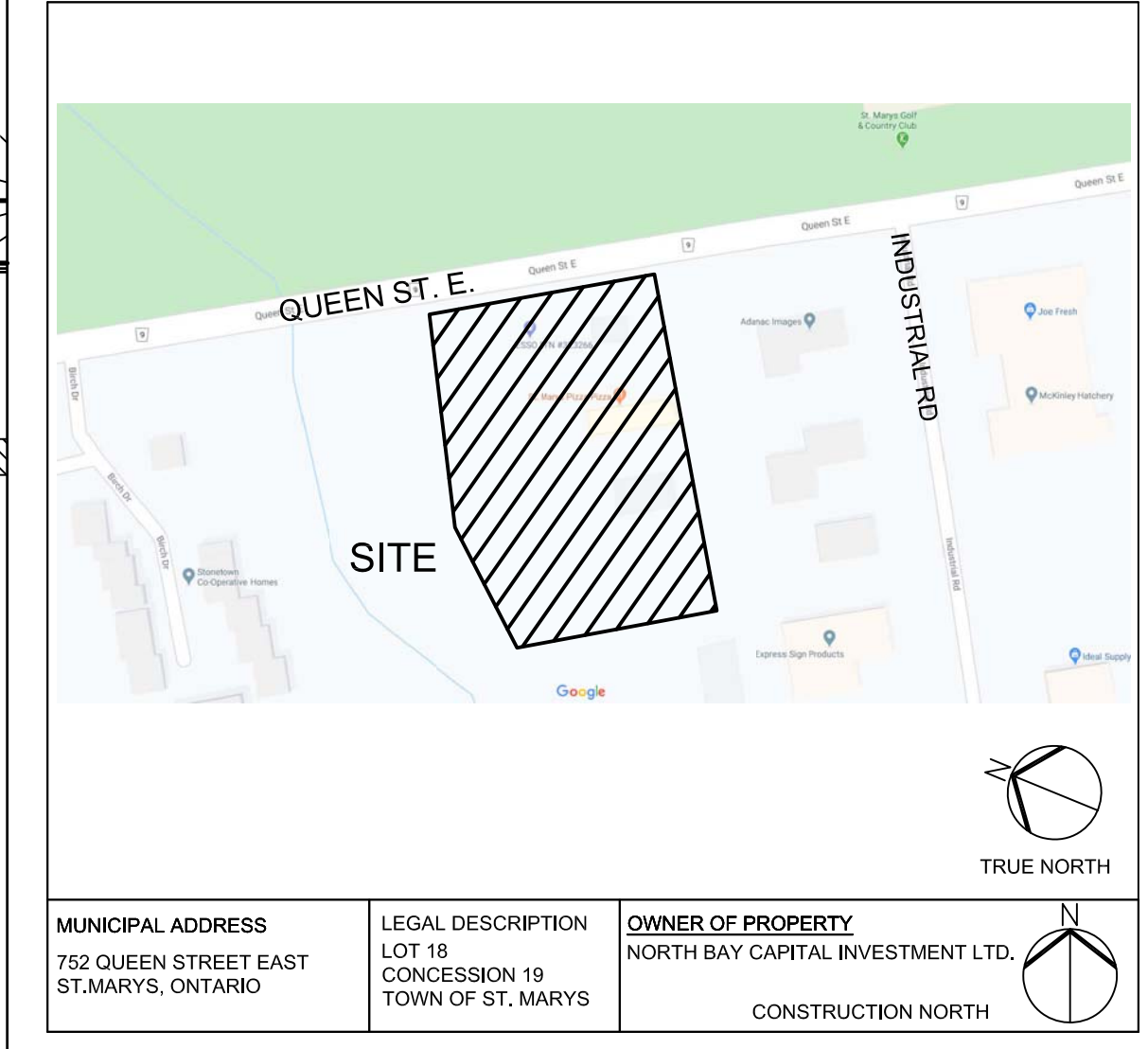
REV	Date	Description	APR/VD
01	24.03.20	ISSUED FOR REVIEW	SK
02	23.06.20	UPDATED AS PER NEW SITE PLAN	SK
03	07.10.20	ISSUED FOR SPA #1	SK

File No. 1905-246-00

C01.2



KEY PLAN



KEY PLAN
 N.T.S.
 LOT 18, CONCESSION 19 (GEOGRAPHIC TOWNSHIP OF BLANSHARD) TOWN OF ST. MARYS, COUNTY OF PERTH, ONTARIO

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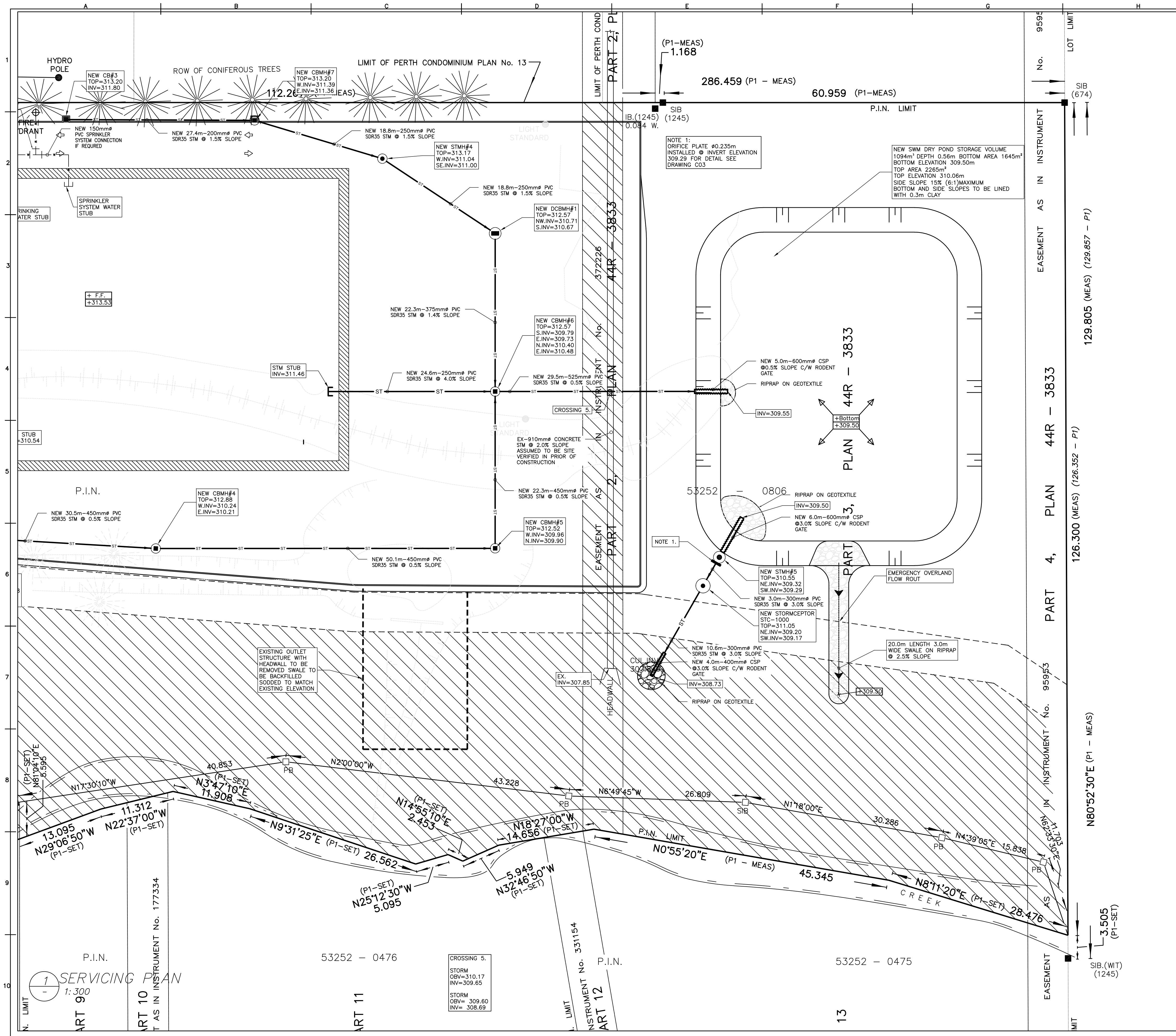
Drawn By: S.K.	Date: 2020-03-24
Reviewed By: JEF/SDJ	Date: 2020-03-24
DWG Scale: 1:300	File No: 1905-246-00

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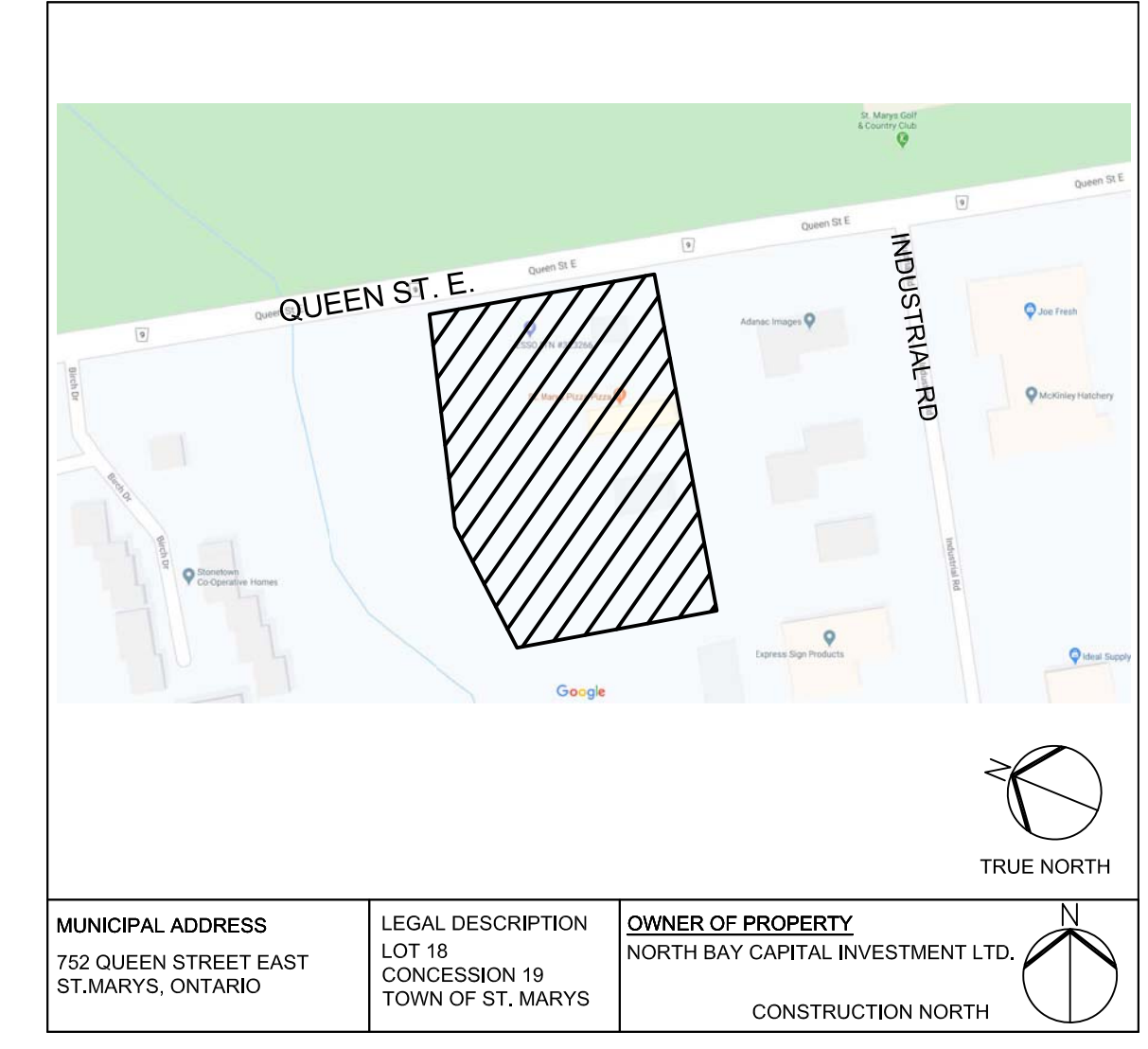
SITE GRADING PLAN	
NORTH PART	
752 QUEEN STREET EAST ST. MARYS, ONTARIO	

REV	Date	Description	APRVD
01	24.03.20	ISSUED FOR REVIEW	SK
02	23.06.20	UPDATED AS PER NEW SITE PLAN	SK
03	07.10.20	ISSUED FOR SPA #1	SK

File No.	1905-246-00
C02.1	



KEY PLAN



MUNICIPAL ADDRESS 752 QUEEN STREET EAST ST. MARYS, ONTARIO	LEGAL DESCRIPTION LOT 18 CONCESSION 19 TOWN OF ST. MARYS	OWNER OF PROPERTY NORTH BAY CAPITAL INVESTMENT LTD. CONSTRUCTION NORTH
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KEY PLAN
N.T.S.
LOT 18, CONCESSION 19 (GEOGRAPHIC TOWNSHIP OF BLANSHARD) TOWN OF ST. MARYS, COUNTY OF PERTH, ONTARIO

BEARING NOTE
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 - CONTRACTOR TO HAVE LOCATES DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
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 - DO NOT SCALE DRAWINGS.

LEGEND:

	STANDARD IRON BAR
	EXISTING ELEVATION
	EXISTING CATCHBASIN
	EXISTING C.B./M.H.
	EXISTING MANHOLE
	RIDGE LINE
	SLOPE
	STREET LIGHT
	FLUSH WITH FINISH GRADE
	ABOVE FINISH GRADE
	PROPOSED ELEVATION
	PROP. E.L.E. (CURB TOP)
	PROP. E.L.E. (CURB BOTTOM)
	EXISTING ELEVATION TO REMAIN
	NEW CATCHBASIN
	NEW C.B./M.H.
	NEW MANHOLE
	NEW GAS LINE
	NEW WATER LINE
	NEW SANITARY LINE
	NEW STORM LINE

Date: 2020-03-24
S.K.
Reviewed By: JEF/SJU
Date: 2020-03-24
DWG Scale: 1:300
File No. 1905-246-00

C02.2

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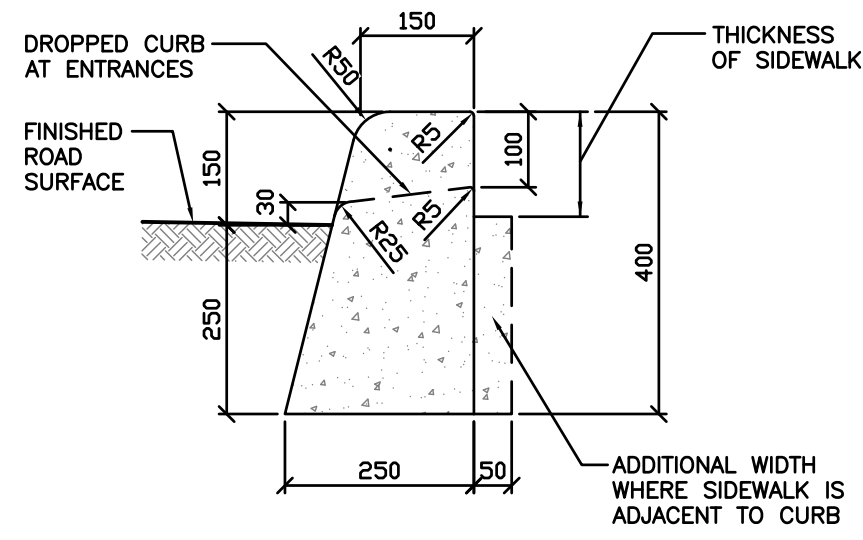
SITE GRADING PLAN SOUTH PART
752 QUEEN STREET EAST
ST. MARYS, ONTARIO

REV	Date	Description	APRVD	SK
01	24.03.20	ISSUED FOR REVIEW		SK
02	23.06.20	UPDATED AS PER NEW SITE PLAN		SK
03	07.10.20	ISSUED FOR SPA #1		SK

File No. 1905-246-00

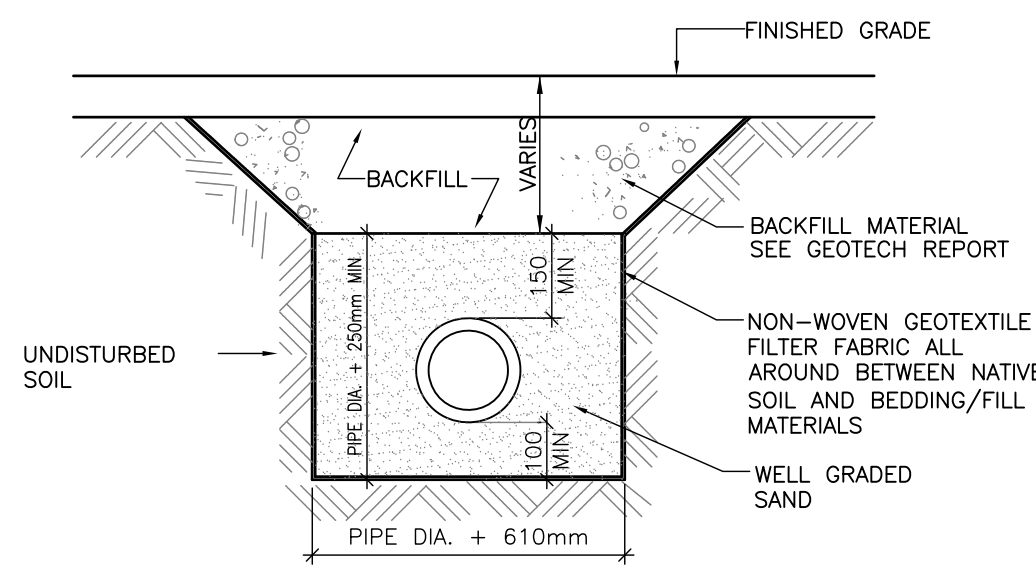
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- GRADING NOTES**
- ALL DIMENSIONS AND ELEVATIONS ARE METRIC, UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS AND DESIGN ELEVATIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER OR ARCHITECT WHERE APPLICABLE.
 - THE CONTRACTOR SHALL RESTORE TO ORIGINAL OR BETTER CONDITION FOR ANY EXISTING CONDITION DISTURBED DURING THE CONSTRUCTION AT CONTRACTOR'S EXPENSE.
 - CONTROL MANHOLES ARE TO BE BENCHED TO THE OBVERTS.
 - LANDSCAPING SHALL NOT ENCROACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
 - STANDARD DRAWINGS OF THE CITY CONSTITUTE PART OF THE PLANS OF THE CONTRACT.
 - ANY CONFLICT WITH EXISTING SERVICES SHALL BE RECTIFIED AS PER CITY'S REQUIREMENTS.
 - MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN THE INVERTS OF THE SEWER AND A CROWN OF A WATER MAIN SHALL COMPLY WITH THE MUNICIPAL AND LOCAL BY-LAWS AT ALL CROSSINGS.
 - CONSTRUCT PAVEMENT AS SPECIFIED. SEE PAVEMENT STRUCTURE DETAILS ON THIS DRAWING.
 - ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB TO TOWN STANDARDS. ALL CONCRETE CURB HEIGHTS SHALL BE 150mm ABOVE FINISHED GRADE (A.F.G.) UNLESS OTHERWISE NOTED. DRIVEWAY CURBS ARE TO BE DISCONTINUOUS AT SIDEWALKS AND TAPERED BACK MINIMUM OF 300mm OR TO THE APPROVAL OF DESIGN ENGINEER.
 - ALL REQUIRED CURB CUTTING AT ENTRANCES AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE APPROVAL OF THE DESIGN ENGINEER.
 - A MINIMUM CLEARANCE OF 1000mm FROM ALL ABOVE GROUND SERVICES AND UTILITIES IS REQUIRED.
 - INSTALLATION OF WATER MAIN IN PRIVATE PROPERTY SHALL COMPLY WITH THE MUNICIPAL AND LOCAL BY-LAWS.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. BELL, HYDRO, GAS, OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREET LINE MUST BE LOCATED AND VERIFIED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
 - ALL SANITARY SEWER, STORM SEWER, AND WATER MAIN ON PRIVATE PROPERTY ARE TO BE INSTALLED IN ACCORDANCE WITH THE PROVINCIAL BUILDING CODE.
 - ALL WATER MAIN AND HYDRANT INSTALLATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST PLANS, STANDARDS, AND SPECIFICATIONS OF THE LOCAL UTILITIES COMMISSION.
 - NO BLASTING IS PERMITTED ON THE CITY RIGHT-OF-WAY AND NEAR ANY ADJACENT BUILDING.
 - THE PROPERTY IS TO BE GRADED AND SELF-CONTAINED SO THAT SURFACE DRAINAGE IS DIRECTED AWAY FROM THE BUILDINGS.
 - THE OWNER AND/OR CONTRACTOR IS REQUIRED TO OBTAIN A "ROAD CUT PERMIT" FROM THE CITY BEFORE COMMENCING ANY WORK ON THE CITY'S ROAD

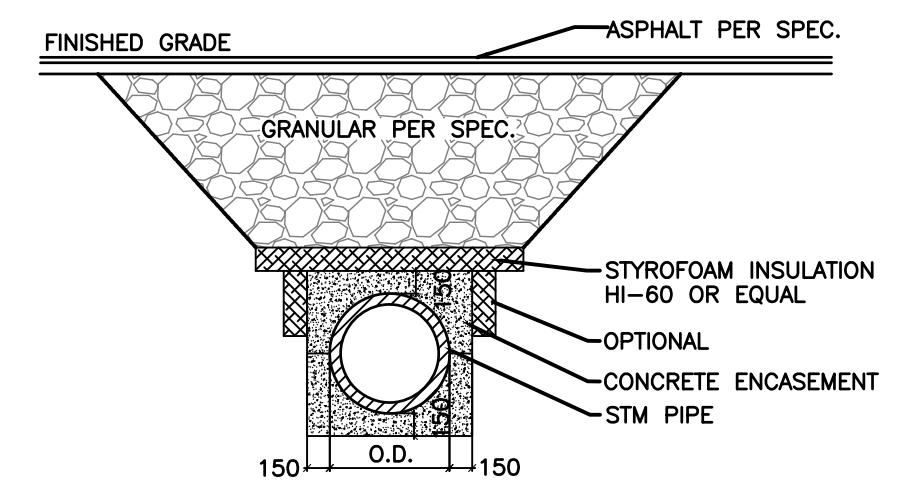


STANDARD CONCRETE BARRIER CURB
OPSD 600.110

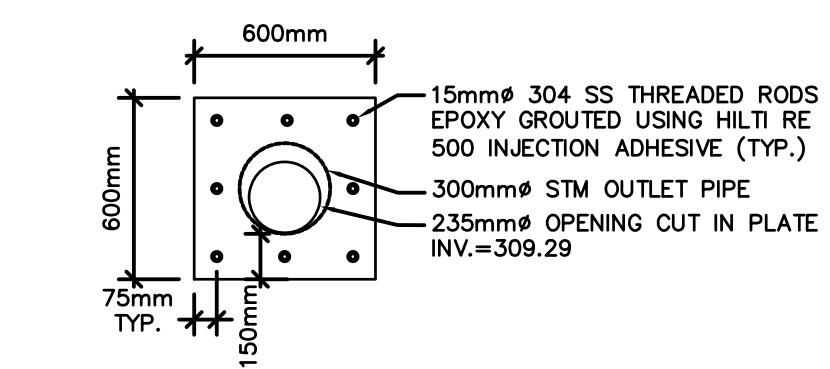
- EROSION AND SEDIMENT CONTROL NOTES:**
- ESC MEASURES ARE TO CONFORM TO THE "EROSION & SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION" DATED DECEMBER 2006 PUBLISHED BY THE GREATER GOLDEN HORSESHOE CONSERVATION AUTHORITIES.
 - ALL EXPOSED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE WITH A SEED AND MULCH APPLICATION AS DIRECTED BY THE ENGINEER.
 - NO CONSTRUCTION ACTIVITY OR MACHINERY SHALL INTRUDE BEYOND THE SILT/SNOW FENCE OR LIMIT OF CONSTRUCTION AREA.
 - ALL CONSTRUCTION VEHICLES SHALL LEAVE THE SITE AT DESIGNATED LOCATIONS AS SHOWN ON THE PLANS.
 - STOCKPILES OF SOIL SHALL BE SET BACK FROM ANY WATERCOURSE AND STABILIZED AGAINST EROSION AS SOON AS POSSIBLE. A SET BACK OF AT LEAST 15M FROM ANY TOP-OF-BANK, WATERCOURSE OR POND IS REQUIRED.
 - CLEANING AND REPAIRS OF MUD-MATS AND ANY OTHER TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE COMPLETED AS DEEMED NECESSARY THROUGH REGULAR INSPECTION.
 - SEDIMENT/SILT SHALL BE REMOVED FROM THE SEDIMENT CONTROL DEVICES AFTER STORM EVENTS AND DEPOSITED IN AREAS AS APPROVED BY THE ENGINEER.
 - ALL RE-GRADED AREAS WITHIN THE DEVELOPMENT WHICH ARE NOT OCCUPIED BY BUILDINGS, ROADWAYS, SIDEWALKS, OR DRIVEWAYS SHALL BE TOP-SOILED AND SODDED/SEEDED IMMEDIATELY AFTER COMPLETION OF FINAL GRADING OPERATIONS AS DIRECTED BY THE ENGINEER.
 - PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
 - ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.
 - MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - ALL COLLECTED SEDIMENT MUST BE DISPOSED OFF AT AN APPROVED LOCATION.
 - MINIMIZE AREA DISTURBED DURING CONSTRUCTION. ALL DEWATERING MUST BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
 - PROTECT ALL CATCH BASINS, MAINTENANCE HOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE (TERRAFIX 270R).
 - KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
 - PREVENT WIND-BLOWN DUST.
 - ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
 - ALL OF THE ABOVE NOTES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ESC MEASURES IN WORKING CONDITION AT ALL TIMES TO THE SATISFACTION OF THE TOWN/CONSERVATION AUTHORITY. THE CONTRACTOR SHALL ROUTINELY INSPECT ALL ESC DEVICES AS FOLLOW:
FREQUENCY OF INSPECTIONS SCHEDULE DURING EARTHWORKS ACTIVITIES INCLUDES:
 - ON A WEEKLY BASIS;
 - PRIOR TO PREDICTED RAINFALL EVENTS;
 - AFTER EVERY RAINFALL EVENT;
 - AFTER SIGNIFICANT SNOWMELT EVENT; AND
 - DAILY DURING EXTENDED RAIN OR SNOWMELT PERIODS



PIPE BEDDING DETAIL
Scale: N.T.S.



STORM INSULATION DETAIL
FOR PIPE COVER LESS 1.2m
Scale: N.T.S.



12mm THICK GALVANIZED STEEL ORIFICE PLATE DETAIL
SCALE: N.T.S.

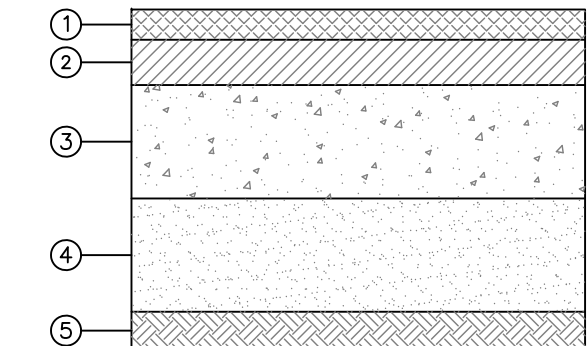
SPECIFICATIONS FOR C.B'S AND M.H.'S

- STORM:**
- DROP STRUCTURE IF REQUIRED AS PER OPSD 1003.010.
 - 600x600 PRECAST CB AS PER OPSD 705.010 c/w RELATED GRATING AS PER OPSD 400.020. GOSS TRAP AND SUBDRAINS AS PER TOWN OF ST MARYS STANDARD.
 - 1200Ø PRECAST MH AS PER OPSD 701.010 c/w RELATED GRATING AS PER OPSD 401.020 U.N.O.
 - 1500Ø PRECAST MH AS PER OPSD 701.011 c/w RELATED GRATING AS PER OPSD 401.020 U.N.O.
 - BENCHING AS PER OPSD 701.021.
 - ADJUSTMENT UNITS AND CAPS AS PER OPSD
 - SEWER COVER-GRANULAR 'A' CONFORMING TO OPSD 802.03.
 - PIPE-PVC SDR35 UNLESS NOTED OTHERWISE.
 - CB CONNECTIONS AS PER OPSD 708.030
 - ALL EX. STORM AND SANITARY ABANDONED SHOWN ON THE PLAN OR ENCOUNTERED DURING CONSTRUCTION ARE TO BE EXCAVATED AT THE STREET LINE AND SEALED TO CITY STD.
 - WHEN THE DEPTH OF THE COVER OVER THE PROP. SANITARY OR STORM SEWERS IS LESS THAN THE FROST DEPTH ARE TO BE INSULATED AS PER CITY STANDARDS. THE INSULATION TO BE STYROFOAM BRAND H.I. TYPE IV OR EQUAL.

- SANITARY:**
- 1200Ø PRECAST M.H'S AS PER OPSD 701.01 C/W RELATED GRATING AS PER OPSD 401.030.
 - DROP STRUCTURE IF REQUIRED AS PER OPSD 1003.010.
 - BENCHING AS PER OPSD 701.021.
 - SANITARY PIPES TO BE PVC SDR35.

- WATERMAINS:**
- ALL NEW WATERMAIN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST TOWN OF ST MARYS STDARDS.
 - WATERMAIN AND/OR WATER SERVICES TO HAVE A MINIMUM OF 2.5m HORIZONTAL SEPARATION FROM OTHER UTILITIES.
 - WHERE WATERMAIN AND/OR WATER SERVICES CROSSES UNDER SANITARY OR STORM SEWER A CLEARANCE OF 0.5m SHOULD BE PROVIDED, AS PER MOE PROCEDURE F-6-1.
 - BEDDING AND COVER MATERIAL TO BE INSTALLED AS PER CITY STANDARD WITH GRANULAR "A" FOR BOTH BEDDING AND COVER.
 - WATER SERVICE TO HAVE MIN. 1.7m-1.9m COVER AS PER TOWN OF ST MARYS REQUIREMENT.
 - WATER SERVICE CONNECTIONS SHALL BE A MINIMUM OF 19mmØ AND CONFORM TO ASTM B88-03 (ASTM B88M-05 FOR METRIC SIZES) TYPE PEXα "MUNICIPEX" BY REHAU AS PER TOWN OF ST MARYS STANDARDS.

- SERVICES NOTES**
- CONTACT LOCAL UTILITY AGENCIES (GAS, HYDRO & TELEPHONE) TO LOCATE THE EXISTING INCOMING SERVICES, AND USE THE SAME TO SERVE NEW INSTALLATIONS (IF APPLICABLE).
 - ALL STORM/SANITARY, AND WATERMAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CALEDON STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
 - WATER SERVICE TO BE PEXα "MUNICIPEX" BY REHAU AND TO BE INSTALLED AT DEPTH OF 1.7-1.9m COVER FROM FINISHED GROUND.
 - THE MINIMUM UNINSULATED DEPTH FOR SEWER TO BE 1.2m AND THE MINIMUM UNINSULATED DEPTH FOR WATERMAINS TO BE 1.7m. SHOULD THE LATTER BECOME SHALLOWER THAN THE STANDARD DEPTHS, INSULATION WILL BE REQUIRED AS PER DETAIL SHOWN ON THIS DRAWING. ALL SEWER AND WATERMAIN MATERIAL CONFORM TO THE CURRENT TOWN OF ST MARYS STANDARDS AND SPECIFICATIONS.
 - WATERMAIN CROSSINGS TO BE IN ACCORDANCE WITH MOE PROCEDURE F-6-1 LOCAL GAS COMPANY TO DETERMINE THE SIZE OF NEW INCOMING GAS SERVICE.
 - WATER LINE MUST HAVE NITRILE GASKETS INSTALLED (NEOPRENE GASKETS ARE NOT ACCEPTABLE).
 - CONTRACTOR IS TO SUPPLY AND INSTALL THE COMPLETE SITE IRRIGATION SYSTEM INCLUDING ELECTRICAL AND WATER SUPPLY CONNECTIONS.
 - CONTROL MANHOLES TO BE BENCHED TO OBVERT.



SECTION THROUGH PAVEMENT WITHIN PROPERTY
SCALE: N.T.S.

LAYER	MATERIAL	PAVEMENT THICKNESS	COMPACTION REQUIREMENT
①	ASPHALT HL-3 (WEARING COARSE)	40 mm	> 97 % (MBD)
②	ASPHALT HL-B (BINDING COARSE)	50 mm	> 97 % (MBD)
③	BASE-GRANULAR A	150 mm	> 100 % (SPMDD)
④	SUB-BASE-GRANULAR B	200 mm	> 100 % (SPMDD)
⑤	SUBGRADE (TO BE RESHAPED)	VARIES	> 95 % (SPMDD)

MBD: MARSHALL BULK DENSITY
SPMDD: STANDARD PROCTOR MAXIMUM DRY DENSITY
NOTE: FOR EXACT ASPHALT MIX AND SUBGRADE DESINE, THICKNESS AND COMPACTION REFER TO GEO REPORT PREPARED FOR THIS SITE

PRECAST SEDIMENT/OIL INTERCEPTOR MODEL 7

WILKINSON HEAVY PRECAST LIMITED
DUNDAS, ONTARIO 905-628-5611
www.wilkinsonheavyprecast.com

CONSTRUCTION DETAILS
Concrete: 50 MPa High Density Concrete at 28 Days, 5 to 8% Air Entrainment. (Highly Resistant To Oil Absorption)
Reinforcing: 15 M bars at 250 mm centres in roof; 10 M bars at 250 mm centres in walls and horizontally in partitions; 4 x 4 6/8 ww mesh in floor. Eight extra 15 M bars around each roof access opening. Minimum cover over reinforcing steel - 25 mm.
Weight: 13,000 kg (Not including Risers)

Total Internal Capacity: 7.4 Cubic Metres

NOTES

- Standard access openings are 685 mm diameter.
- Typical precast concrete access extension with cast iron closed pattern manhole frame and cover - O.P.S.D. Ref 401.01 Type A. Bolted and gasketed frame and cover - O.P.S.D. Ref. 401.03, and locking cover O.P.S.D. Ref. 401.06 are also available. See RISERS & ACCESS COVERS FOR INTERCEPTORS for other styles of cover.
- Galvanized steel elbow sized to suit flow through the structure.
- One 200 x 500 mm flow through void through the partition.
- Galvanized steel trash rack bolted over the partition void with stainless steel fasteners.
- The partitions are cast monolithically with the walls and roof.
- Heavy lifting eyes in the roof four places.

Variations Available:
Size, number and location of inlet and outlet openings, flow throughs, trash racks and galvanized steel elbows.

Dimensions in mm N.T.S.

* Commensurate with a 2 Metre burial in firm soil under an area of occasional or intermittent vehicle traffic. Please consult with the factory before specifying this product for use in an area of heavy wheel loading.

WARNING! IMPROPER INSTALLATION ESPECIALLY IN UNSTABLE SOILS CAN RESULT IN THE STRUCTURAL FAILURE OF THIS PRODUCT

Date: 2020-03-24
S.K.
Reviewed By: JEF/SJU
Date: 2020-03-24
DWG Scale: AS SHOWN
File No: 1905-246-00

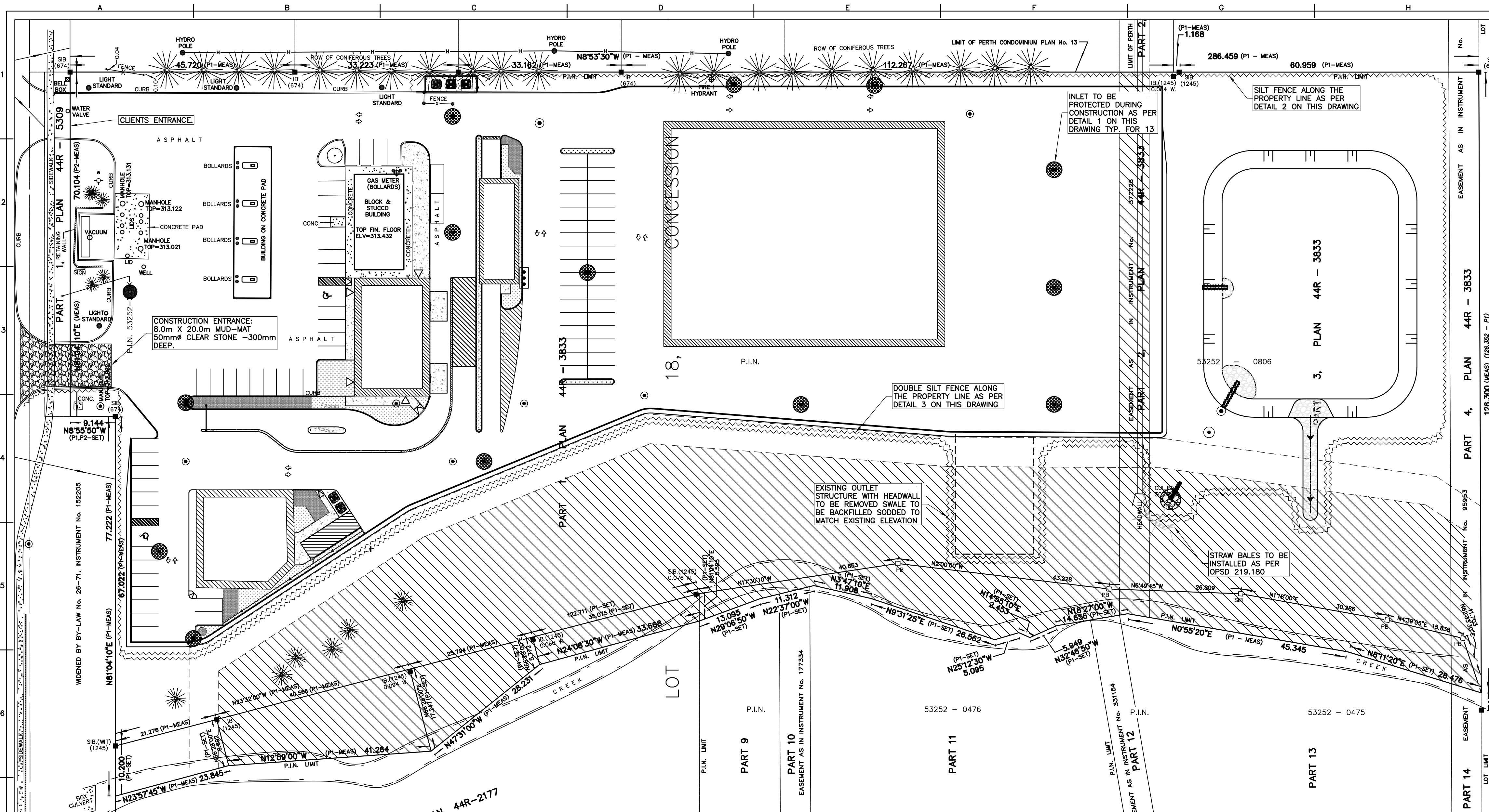
blueprint2build

LICENSED PROFESSIONAL ENGINEER
10 July 20
S. KISELYOV
100104128
PROVINCE OF ONTARIO

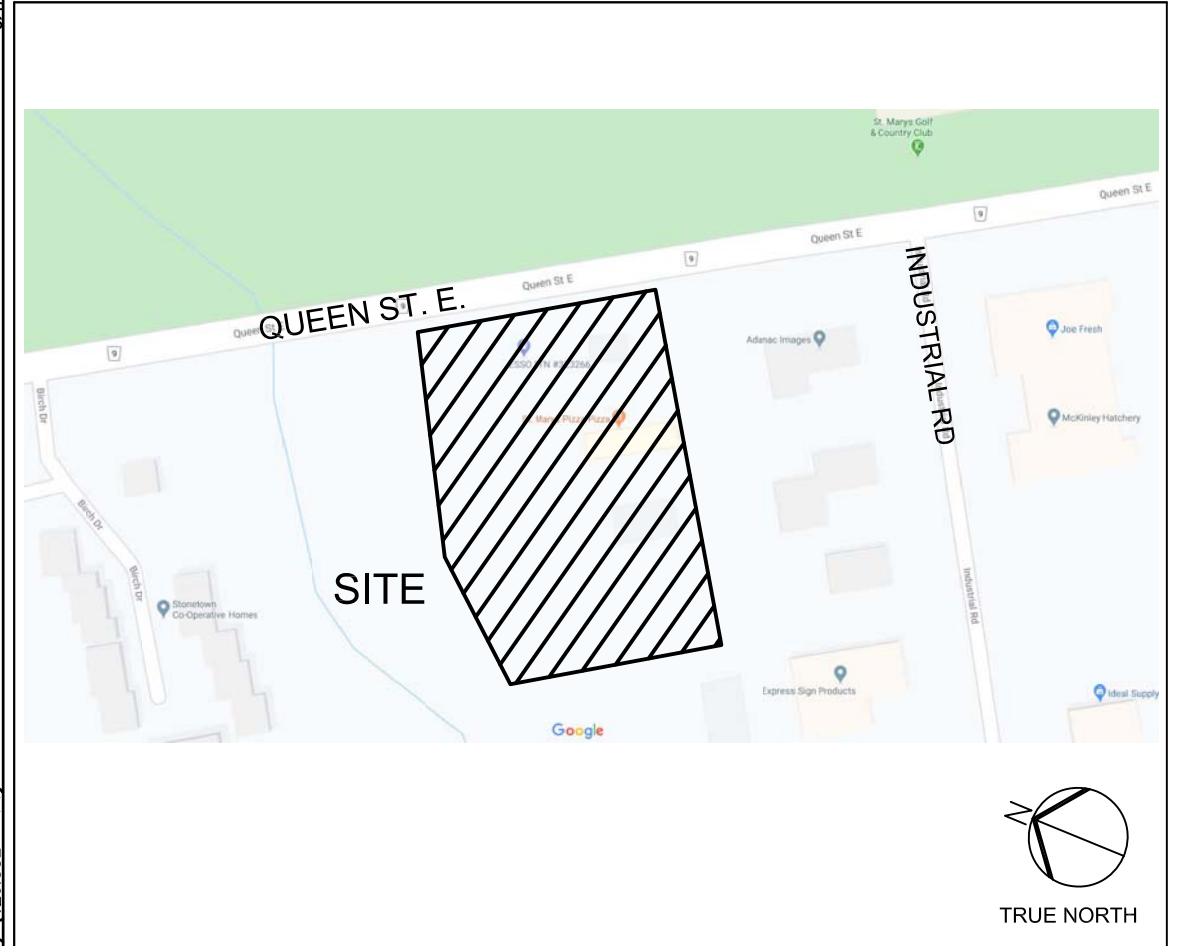
NOTES AND DETAILS
752 QUEEN STREET EAST
ST. MARYS, ONTARIO

REV	Date	Description	APRVD
01	21.04.20	ISSUED FOR CLIENT REVIEW	SK
02	07.10.20	ISSUED FOR SPA #1	SK

File No. 1905-246-00



KEY PLAN



MUNICIPAL ADDRESS 752 QUEEN STREET EAST ST. MARYS, ONTARIO	LEGAL DESCRIPTION LOT 18 CONCESSION 19 TOWN OF ST. MARYS	OWNER OF PROPERTY NORTH BAY CAPITAL INVESTMENT LTD. CONSTRUCTION NORTH
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KEY PLAN
N.T.S.
LOT 18, CONCESSION 19 (GEOGRAPHIC TOWNSHIP OF BLANSHARD) TOWN OF ST. MARYS, COUNTY OF PERTH, ONTARIO

BEARING NOTE
BEARING SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH LIMIT OF QUEEN STREET, AS WIDENED, HAVING A BEARING OF N81°04'10"E ACCORDING TO PLAN 44R-3833.

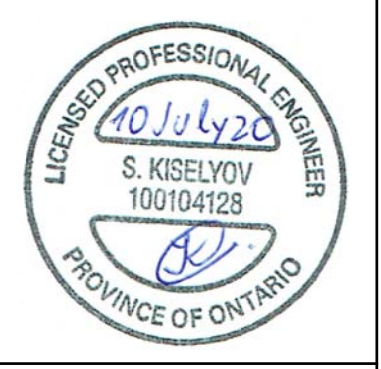
ELEVATION NOTES
ELEVATIONS ARE GEODETIC AND REFERRED TO VERTICAL CONTROL MONUMENT NO. 00819658224 (ALSO KNOWN AS 65-224) HAVING A PUBLISHED ELEVATION OF 325.092m AND MONUMENT NO. 00819648088 (ALSO KNOWN AS 64-88) HAVING A PUBLISHED ELEVATION OF 319.912m.

SITE BENCH MARK
CUT CRESS AT BASE OF LIGHT STAND SOUTH OF THE STUCCO BLOCK BUILDING ELEVATION = 313.341

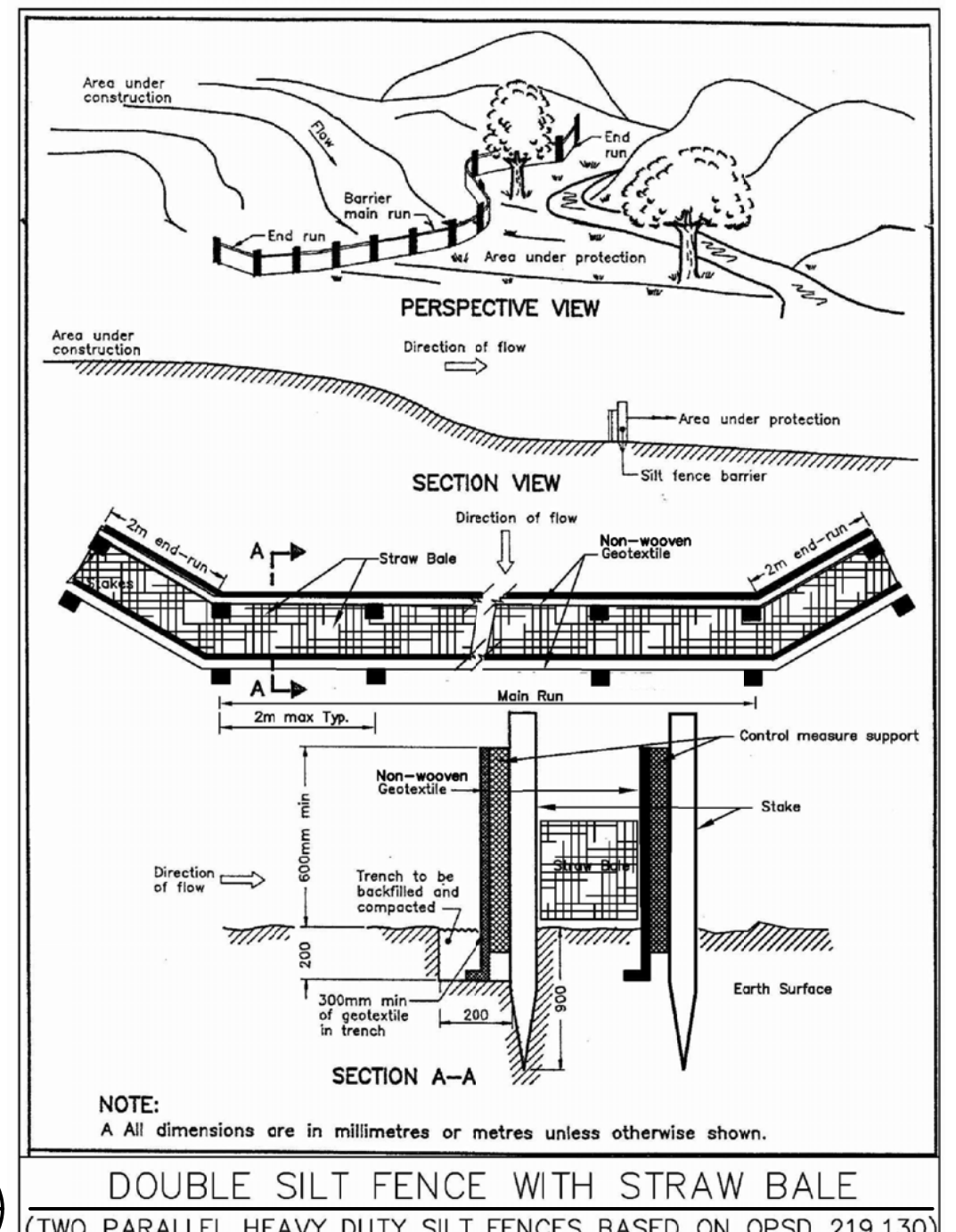
- GENERAL NOTES:**
- LEGAL BOUNDARY SURVEY AND TOPOGRAPHICAL ELEVATIONS BASED ON SURVEY DONE BY NA GEOMATICS INC. DATED: 27 FEBRUARY 2020 FILE NUMBER: 20-6006
 - SITE SERVICING INFORMATION WITHIN THE PROPERTY TAKEN FROM GRADING AND SERVICING PLAN GD-2 PROJECT NUMBER 13-32 BY Basetech Consulting Inc. DATED: NOVEMBER 2013
 - ALL SITE FEATURES ARE TO BE CONSIDER NEW UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION
 - CONTRACTOR TO ENSURE ALL SETBACKS ARE MAINTAINED DURING CONSTRUCTION OF SITE.
 - OWNER OR OWNER REPRESENTATIVE ARE TO BE NOTIFIED OF ANY ERRORS OR OMISSIONS THAT ARE DISCOVERED.
 - OWNER OR OWNER REPRESENTATIVE ARE RESPONSIBLE FOR FINAL CONFIRMATION AND PLACEMENT OF ALL EQUIPMENT.
 - CONTRACTOR TO HAVE LOCATES DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
 - ALL DIMENSIONS ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO CONSTRUCTION.
 - DO NOT SCALE DRAWINGS.

Date: 2020-03-24	Drawn By: S.K.
Date: 2020-03-24	Reviewed By: JEF/SDJ
DWG Scale: 1:300	File No. 1905-246-00

blueprint2build



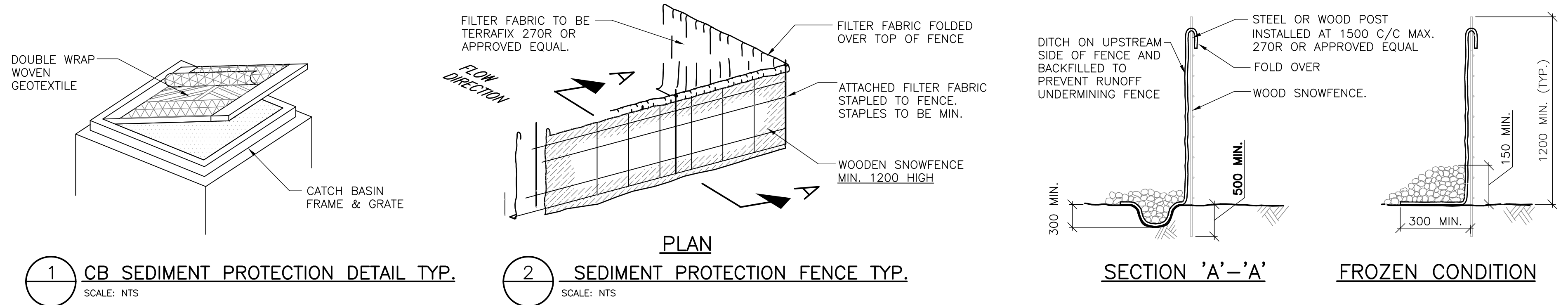
EROSION AND SEDIMENT CONTROL PLAN
752 QUEEN STREET EAST
ST. MARYS, ONTARIO



LEGEND:

- STANDARD IRON BAR
- EXISTING ELEVATION
- EXISTING CATCHBASIN
- EXISTING C.B./M.H.
- EXISTING MANHOLE
- RIDGE LINE
- SLOPE 2.0%
- STREET LIGHT
- F.W.F.G. FLUSH WITH FINISH GRADE
- A.F.G. ABOVE FINISH GRADE
- PROPOSED ELEVATION
- PROP. ELE. (CURB TOP)
- PROP. ELE. (CURB BOTTOM)
- EXISTING ELEVATION TO REMAIN
- NEW CATCHBASIN
- NEW C.B./M.H.
- NEW MANHOLE
- NEW GAS LINE
- NEW WATER LINE
- NEW SANITARY LINE
- NEW STORM LINE

3



REFER TO DWG C3 FOR EROSION AND SILTATION CONTROL NOTES AND DETAILS

1 EROSION AND SEDIMENT CONTROL PLAN
1:300

REV	Date	Description	APR/D	SK
01	24.03.20	ISSUED FOR REVIEW	SK	SK
02	23.06.20	UPDATED AS PER NEW SITE PLAN	SK	SK
03	07.10.20	ISSUED FOR SPA #1	SK	SK

File No. 1905-246-00

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