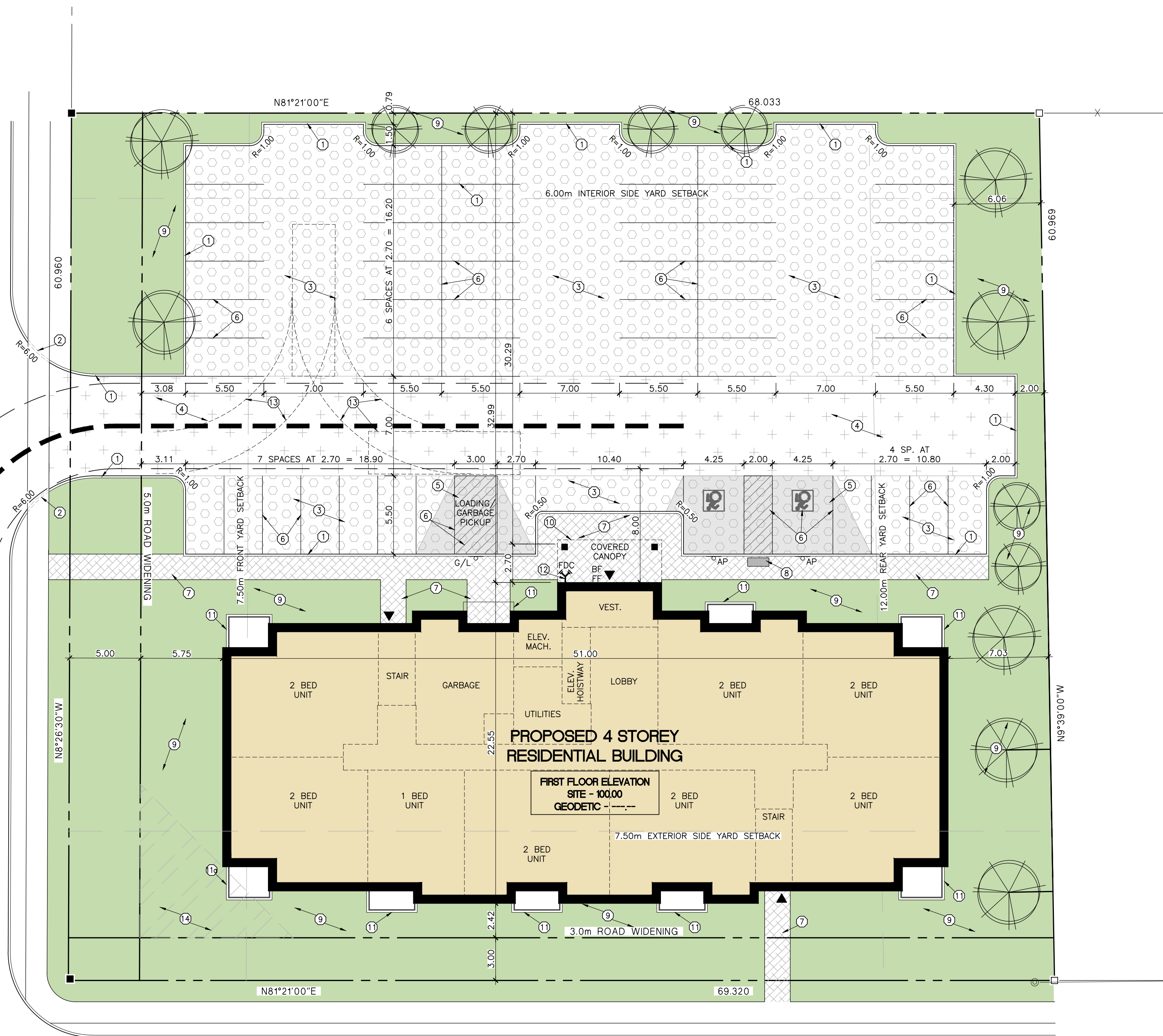


gb

JAMES STREET NORTH



GLASS STREET

**SITE DATA:**

MUNICIPAL ADDRESS: 665 JAMES STREET NORTH, ST. MARY'S, ONTARIO

LEGAL DESCRIPTION: PLAN OF SURVEY OF PART OF LOT 15, CONCESSION 18, (GEOGRAPHIC TOWNSHIP OF BLANSHARD) NOW IN THE TOWN OF ST. MARY'S, COUNTY OF PETERborough AS PREPARED BY McNEIL SURVEYING LIMITED, ONTARIO LAND SURVEYORS, COMPLETED ON THE 12TH DAY OF MAY, 2010.

ZONING: R5-(L) - RESIDENTIAL ZONE FIVE

REQUIRED	PROVIDED
SITE AREA: (900.0 m <sup>2</sup> FOR FIRST DWELLING UNIT AND 90.0 m <sup>2</sup> FOR EACH ADDITIONAL DWELLING UNIT)	MIN. 3,960.0 m <sup>2</sup> (0.911 ACRES) 3,688.14 m <sup>2</sup> (0.911 ACRES)
LOT FRONTAGE:	MIN. 25.0 m 57.96 m (EXCLUDES NEW ROAD ALLOWANCE)
LOT DEPTH:	MIN. 37.0 m 63.03 m (EXCLUDES NEW ROAD ALLOWANCE)
REQUIRED BUILDING SETBACKS:	REQUIRED PROVIDED
FRONT YARD:	7.5 m 5.75 m
INT. SIDE YARD:	6.0 m 32.99m (30.29 m TO CANOPY COLUMN)
EXT. SIDE YARD:	7.5 m 2.42 m
REAR YARD:	12.0 m 7.03 m
BUILDING AREA	986.52 m <sup>2</sup> (10,618.81 ft <sup>2</sup> )
TOTAL GROSS FLOOR AREA	3,946.08 m <sup>2</sup> (42,475.25 ft <sup>2</sup> )
DENSITY (UNITS/HECTARE)	35 UNITS / 0.368814 ha = 95
BUILDING HEIGHT	MAX. 3 STOREYS 13.5 m 4 STOREY 15.924 m (MEAN HT.)
BUILDING FOOTPRINT	986.52 m <sup>2</sup> (10,618.81 ft <sup>2</sup> )
LOT COVERAGE (MAX. 35% BLDG. FTPRINT./SITE AREA)	986.52 m <sup>2</sup> / 3,688.14 m <sup>2</sup> = 26.75%
TOTAL LANDSCAPE/HARDSCAPE AREA PROVIDED: (MIN. 35%)	1,057.55m <sup>2</sup> (11,383.37 ft <sup>2</sup> ) = 28.67%
TOTAL ASPHALT/PARKING AREA:	1,644.07m <sup>2</sup> (17,696.62 ft <sup>2</sup> ) = 44.58%
PARKING REQUIRED:	RESIDENTIAL 1.25 SPACES PER DWELLING UNIT 35 UNITS x 1.25 = 44 SPACES
ACCESSIBLE PARKING REQUIRED:	26-50 PKG SPACES REQUIRES 2 ACCESSIBLE SPACES
PARKING PROVIDED:	SURFACE 48 STANDARD PARKING SPACES 2 ACCESSIBLE PARKING SPACES
LOADING SPACES REQUIRED:	50 TOTAL SPACES PROVIDED NOT REQUIRED
REFUSE/RECYCLING:	INTERIOR GARBAGE STORAGE FOR REFUSE/RECYCLING COLLECTION BY PRIVATE REFUSE/RECYCLING SERVICE

**SITE LEGEND:**

--- PROPERTY LINE	EX □ EXISTING CATCH BASIN
- - - DENOTES FIRE ROUTE -	EX ○ EXISTING MANHOLE
--- MIN. 5.0m WIDE w/	EX □ EXISTING DRAIN INLET
--- 12.0m CENTRELINE RADIUS	EX ● EXISTING ROAD SIGN
▲ BUILDING EXIT	EX ● EXISTING UTILITY POLE (w/GLY WIRE)
BF - DENOTES BARRIER FREE	EX ● EXISTING LIGHT STANDARD
FF - DENOTES FIRE FIGHTER	EX ● EXISTING BELL PEDESTAL
PRINCIPAL ENTRANCE	EX ● EXISTING GAS METER
	EX ● EXISTING STEEL GUIDERAIL
□ ACCESSIBLE PARKING	--- EXISTING WOOD FENCE
CB □ NEW CATCH BASIN	
DCB □ NEW DOUBLE CATCH BASIN	
MH ○ NEW MANHOLE	
CBMH ○ NEW CATCH BASIN MANHOLE	
OGS ○ NEW OIL AND GRIT SEPARATOR	
FDC ● FIRE DEPARTMENT CONNECTION	
CONCRETE SIDEWALK	
STANDARD DUTY ASPHALT	
RAMPED TO BE FLUSH WITH BARRIER CURB	
STANDARD DUTY ASPHALT	
HEAVY DUTY ASPHALT	
NEW TRAFFIC SIGNAGE	
REFER TO SIGNAGE LEGEND	

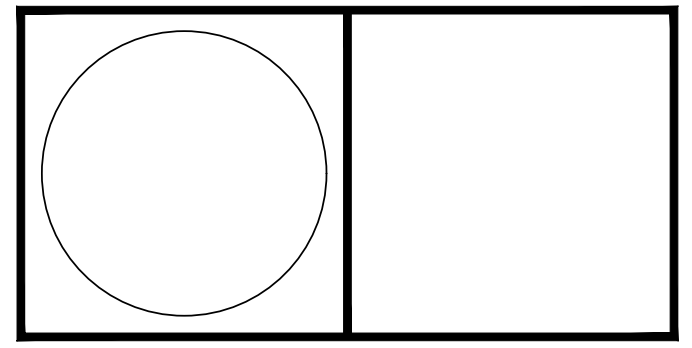
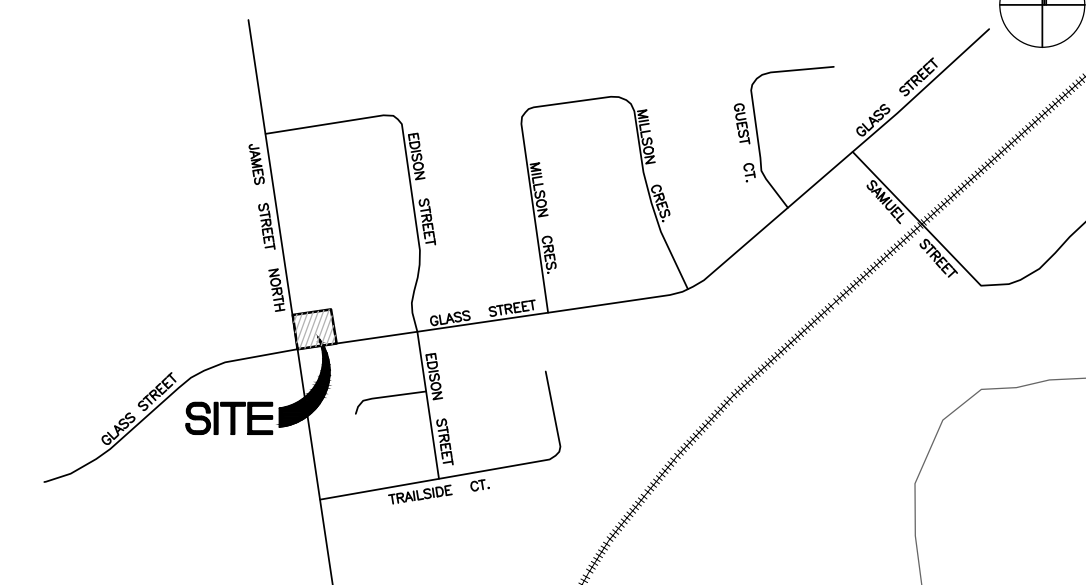
**SIGNAGE LEGEND:**

AP - ACCESSIBLE PARKING  
G/L - NO PARKING - GARBAGE/LOADING (REMOVABLE SIGN POST)

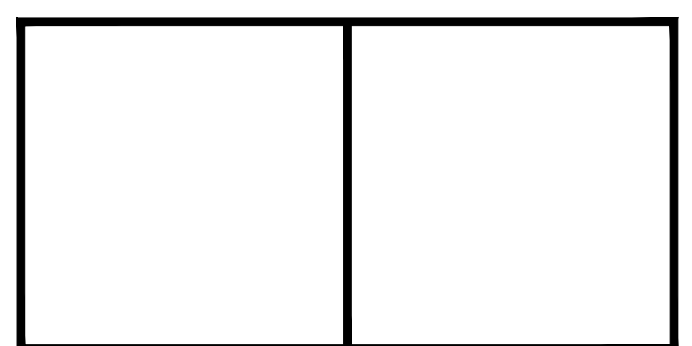
**SITE PLAN NOTES**

- 1) STANDARD CONCRETE BARRIER CURB
- 2) CURB PROFILE AT MUNICIPAL SIDEWALK - FLUSH WITH SIDEWALK SURFACE
- 3) STANDARD DUTY ASPHALT
- 4) HEAVY DUTY ASPHALT
- 5) RAMPED ASPHALT SURFACE TO BE FLUSH WITH BARRIER CURB - MAXIMUM 1/2" ROLLOVER FOR BARRIER FREE ACCESS
- 6) PAINTED LINE MARKINGS AND GRAPHICS
- 7) CONCRETE SIDEWALK - REFER TO CIVIL AND LANDSCAPE DWGS.
- 8) TACTILE WARNING INDICATOR AT BARRIER FREE PARKING SPACE ACCESS AISLE
- 9) LANDSCAPED AREA - REFER TO LANDSCAPE DWGS.
- 10) LINE OF OVERHEAD ENTRANCE CANOPY
- 11) LINE OF EXTENT OF UPPER FLOORS RESIDENTIAL SUITE BALCONIES OR FIRST FLOOR RESIDENTIAL SUITE PATIOS WHERE APPLICABLE
- 12) WITHIN THE VISIBILITY TRIANGLE SUITE PATIO RAILING NOT TO EXCEED 750mm ABOVE FINISH GRADE.
- 13) FIRE DEPARTMENT CONNECTION
- 14) TURNING PROFILE OF 3.0m x 10.67m GARBAGE/MOVING TRUCK - 12.25m OUTSIDE RADIUS
- 15) 10.8m X 10.8m VISIBILITY TRIANGLE

**LOCATION MAP:**



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The Architect above has exercised responsible control with respect to design activities. The Architect's seal number is their BCDN number.

No.	DATE	REVISION

**RESIDENTIAL DEVELOPMENT**

665 JAMES STREET, NORTH  
ST. MARYS, ONTARIO

PRINT DATE:	March 19, 2021
DATE:	March 19, 2021
DRAWN BY:	KED
CHECKED BY:	G.R.B.
SCALE:	1:200
PROJECT No.:	1947

**SITE PLAN**

**A1.1**

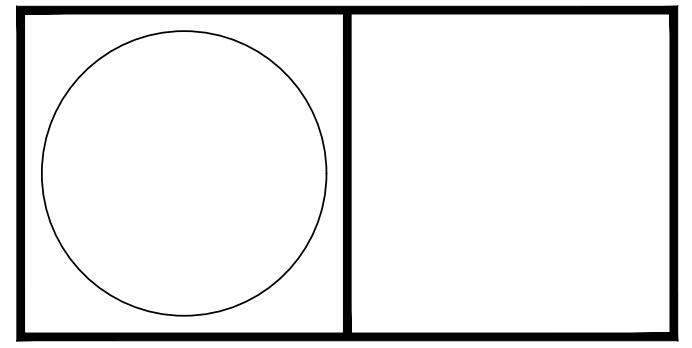
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ALL WORK SHALL BE CARRIED OUT ACCORDING TO LATEST VERSIONS OF THE ONTARIO BUILDING CODE, OTHER APPLICABLE CODES, AND ALL AUTHORITIES MAKING SUBSCRIPTION. CHECK AND VERIFY ALL DIMENSIONS OR AMBIGUITIES TO THE ARCHITECT PRIOR TO RESUMANCE OF CONTRACT. DO NOT SCALE DRAWINGS. DRAWINGS MUST BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATIONS.

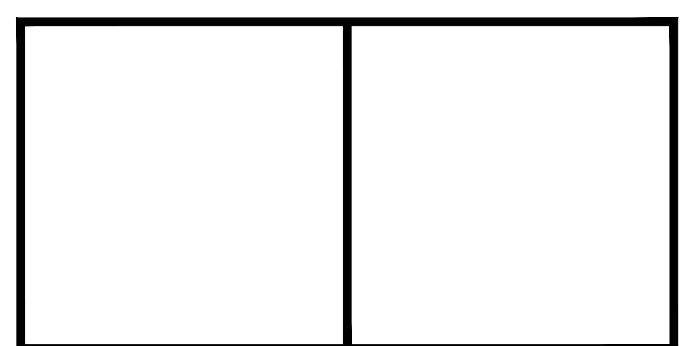
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**FIRST FLOOR PLAN**

**A2.1**

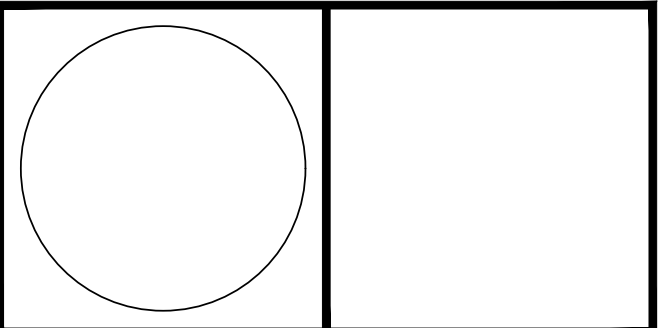
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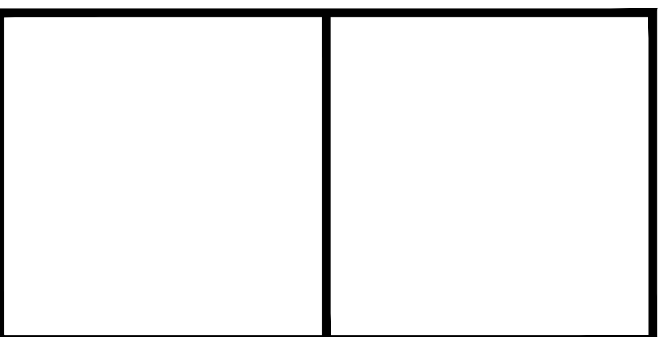
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**TYPICAL FLOOR PLAN**

**A2.2**

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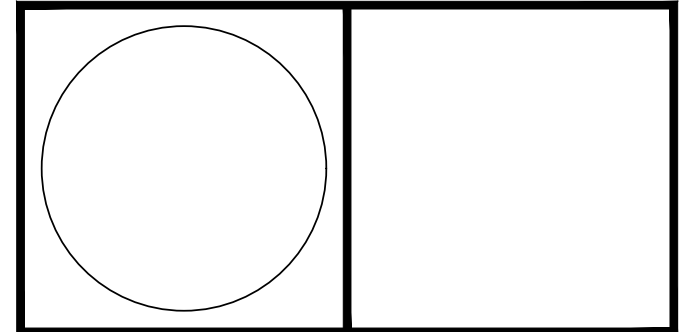


**SOUTH ELEVATION (FACING GLASS STREET)**

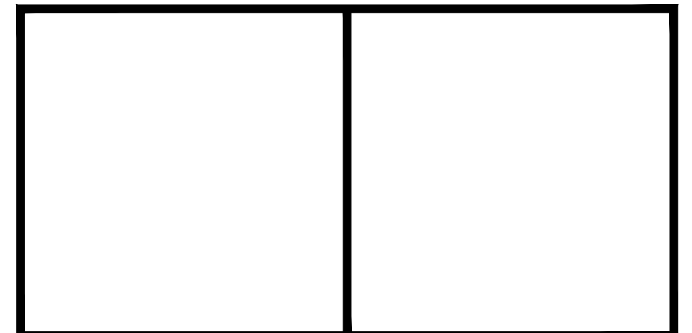


**EAST ELEVATION**

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**SOUTH AND EAST ELEVATIONS**

**A3.1**

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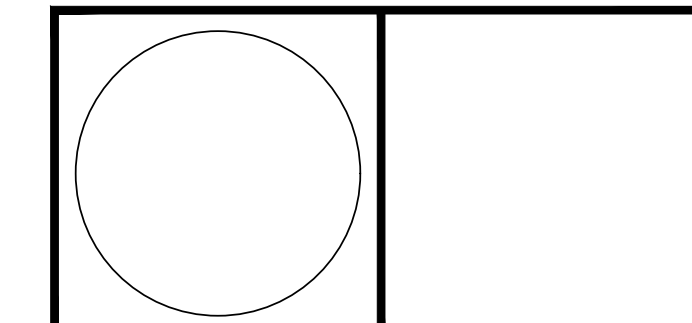


**NORTH ELEVATION (FACING PARKING LOT)**



**WEST ELEVATION (FACING JAMES STREET)**

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**NORTH AND WEST ELEVATIONS**  
**A3.2**  
 gb