



**Corporation of the
the Town of St. Marys**

Application for Minor Variance
(Under Section 45 (1) of the Planning Act)
 Application for Permission
(Under Section 45 (2) of the Planning Act)

File No. A

Instructions

Each application must be accompanied by the application fee in the form of either cash or a cheque payable to the Town. An accurate scaled drawing of the subject land must be submitted.

If the applicant is not the owner of the subject land, a written statement by the owner which authorizes the applicant to act on behalf of the owner as it relates to the subject application, must accompany the application (See Section 11.0).

In addition, the applicant may be required to submit a more detailed site plan in accordance with Section 41 of the Planning Act.

Completeness of the Application

The information in this form that must be provided by the applicant is indicated by black arrows (➔) on the left side of the section numbers. This information is prescribed in the Schedule to Ontario Regulation 200/96 made under the Planning Act. The mandatory information must be provided with the appropriate fee and a scaled drawing. If the mandatory information is not provided, the Town will return the application or refuse to further consider the application.

To ensure the quickest and most complete review, this information should be submitted at the time of application. In the absence of this information, it may not be possible to do a complete review within the legislated time frame for making a decision. As a result, the application may be refused.

Approval Process

Upon receipt of an application, the required fee and other information (as required) the Secretary of the Committee of Adjustment will determine whether the application is complete. Once complete, a notice of hearing will be circulated as required by the Ontario Planning Act. The applicant is encouraged to attend the hearing to present the proposal. The applicant will be provided notice of any decision made by the Committee concerning the application. If no notice of appeal is given within twenty days, the decision of the Committee is final and binding.

For Help

To help you complete the application form, please consult the Building Department in the Town Hall. You can also call the Building Department at (519) 284-2340.

Please Print and Complete or (✓) Appropriate Box(es)

1.0 Application Information

➔ 1.1 Name of Owner(s) An owner's authorization is required if the applicant is not the owner (See Section 11.0)

Name of Owner(s)
Paul Trethewey

Home Telephone No.
226.661.1350

Business Telephone No.
519.245.7644

Address

223 Wellington Street South, Box 1096, St. Marys ON N4X 1B7

Postal Code
N4X 1C8

Fax No.
416.862.2229

1.2 Agent/Applicant - Name of the person who is to be contacted about the application, if different than the owner. (This may be a person or Company acting on behalf of the owner.)

Name of Contact Person (and Company)
N/A

Home Telephone No.

Business Telephone No.

Address

Postal Code

Fax No.

➔ 2.0 Location and Size of the Subject Land

Street No.	223	Name of Street/Road	Wellington St. South	Registered Plan No.	235	Lot(s)/Block(s)	Pt. Lot 17, Pt. Lot 18, Pt. Block C
Reference Plan No.		Part Number(s)		Concession Number(s)		Lot Number(s)	17, 18, Block C
Lot Frontage	94.77 ft. (28.88 metres)	Average Width	94.77 ft. (28.88 metres)	Average Depth	119.87 ft. (36.536 metres)	Lot Area	1,055.4 square metres

➔ 2.1 Is there a mortgage or charge in respect of the subject land? Yes No If yes, give the names and addresses of any mortgages or charges

Toronto Dominion Bank home equity demand loan

➔ 2.2 Are there any easements or restrictive covenants affecting the subject land? Yes No If yes, describe the easement or covenant and its effect.

➔ 2.3 When were the subject lands acquired by the current owner?
December 8, 2020

➔ 3.0 Proposed and Current Land Use

➔ 3.1 What is the proposed use of the subject land?
Residential

➔ 3.2 What is the current use of the subject land?
Residential

➔ 3.3 How is the subject land currently designated in the Official Plan?
Residential

➔ 3.4 How is the subject land currently zoned in the applicable Zoning By-law?

R4

➔ 3.5 What is the nature and extent of relief from the Zoning By-law requested?
See attached Schedule.

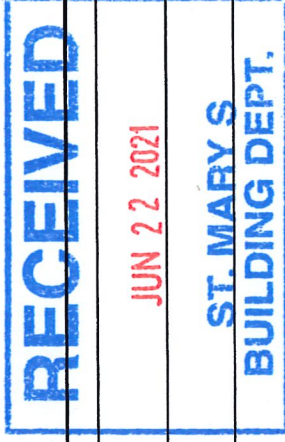
To permit an increase, in the allowed lot coverage for all accessory buildings, from 5% to 7.86% for two buildings.

➔ 3.6 Why can the proposed use not comply with the provisions of the Zoning By-law?

See attached Schedule.

See attached Schedule.

See attached Schedule.



▶ 3.7 Provide the following details for all buildings, both existing or proposed. (Attach an additional page if necessary)

	Existing Buildings		Proposed Buildings		Existing Buildings	Proposed Buildings
	See attached schedule					
3.7.1 Front Yard			3.7.5 Height			
3.7.2 Rear Yard			3.7.6 Dimensions			
3.7.3 Side Yard			3.7.7 Gross Floor Area			
3.7.4 Side Yard			3.7.8 Date Constructed			

▶ 4.0 Previous Industrial or Commercial Uses

4.1 Has there been an industrial or commercial use on the subject land or adjacent land? If Yes, specify the uses and dates. Yes No

4.2 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites? Yes No

4.3 What information did you use to determine the answers to the above questions?

Advice of previous long-time owner

4.4 If Yes, to (4.1), (4.2) or (4.3), a previous use inventory showing all former uses of the subject land, or if appropriate, the adjacent land, is needed. Is the previous use inventory attached? Yes No

▶ 5.0 Status of Other Applications under the Planning Act

Is the subject land also the subject of an application for an Official Plan Amendment, Consent, approval of a Site Plan, Minor Variance, Zoning By-law Amendment or Zoning Order Amendment? Yes No If Yes, indicate the type of application, the file number and the status of the application.

▶ 6.0 Servicing

6.1 Indicate the existing/proposed servicing type for the subject land.

Sewage Disposal	Existing	Proposed	Water Supply	Existing	Proposed
a) Public piped sewage system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	a) Public piped water system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b) Public or private communal septic			b) Public or private communal well(s)		
c) Individual septic system(s)			c) Individual well(s)		
d) Other			d) Other		
Storm Drainage	Existing	Proposed	Road Access	Existing	Proposed
a) Sewers	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	a) Arterial Road		
b) Ditches or swales			b) Collector Road		
c) Other			c) Local Road	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

▶ 7.0 Justification

7.1 Indicate how the proposed development will be compatible with the surrounding land uses. (attach an additional page if necessary)

See attached schedule

▶ 8.0 Other information (attach an additional page if necessary)

See attached schedule, elevation drawings of proposed structure and location plan.

▶ 9.0 Application Drawing

Please submit an accurate, scaled drawing of the proposal showing the following information:

- a) The subject land, including its boundaries and dimensions, and the location, and nature of any easement or restrictive covenants which affect the subject land;
- b) The uses of adjacent and abutting land;
- c) The location of all existing as well as proposed buildings and their dimensions, uses, and setbacks from lot lines;
- d) The location of all natural and man-made features on the land and the location of an of these features on adjacent and abutting lands
- e) Scale and north arrow.

▶ 10.0 Affidavit or Sworn Declaration

I, Paul Trethevey of the Town of St. Marys in the County/Region of Perth

make oath and say (or solemnly declare) that the information contained in the documents that accompany this application is true.

Sworn (or declared) before me at the Town of St. Mary Leslee Lea Stacey,
a Commissioner, etc.,
in the County/Region of Perth Province of Ontario, for the
Corporation of the Town of St. Marys.
Expires September 17, 2021

this 22 day of June, 2021

Leslee Stacey
Commissioner of Oaths

Paul Trethevey
Applicant

▶ 11.0 Authorization of Owner for Agent to Make the Application

I (we), _____ of the _____ in the County/Region of _____

am the owner of the land that is the subject of this application for a Minor Variance/ Permission and I (we) hereby authorize _____ to act as my (our) agent in the application.

Date _____ Signature of Owner(s) _____

12.0 ACKNOWLEDGEMENT

With the filing of this application, the applicant is aware of, and agrees, that if the decision of the Council of the Town of St. Marys regarding this application is appealed by a third party (a party other than the applicant), all costs incurred by the Corporation of the Town of St. Marys for legal counsel and other associated costs to represent the Corporation of the Town of St. Marys in defending the decision before the Ontario Municipal Board will be solely the responsibility of, and paid for by the applicant.

Dated at the Town of St. Marys

in the County/Region of Perth

this 22 day of June, 2021

Paul Trethevey
Applicant

Schedule

3.6. Why can the proposed use not comply with the provisions of the zoning bylaw?

The existing shed is fully occupied with gardening materials and equipment and a snowblower. In addition to a daily driver car, the owner has a collector auto, three motorcycles, motorcycle shop equipment and a tripping canoe that require an on-site drive-in garage for storage and maintenance, for which a slightly larger structure than permitted under the By-Law is required.

3.7 Details for existing and proposed buildings

<u>Measurement</u>	<u>Existing house</u>	<u>Existing shed</u>	<u>Proposed Garage</u>
3.7.1 Front yard	<u>16'</u>	<u>N/A</u>	<u>33-5'</u>
3.7.2 Rear yard	<u>43'</u>	<u>4'6"</u>	<u>56-37'</u>
3.7.3 Side yard	<u>South 44-68'</u>	<u>19'3"</u>	<u>4'</u>
3.7.4 Side yard	<u>North 6'</u>	<u>63'6"</u>	<u>N/A</u>
3.7.5 Height	<u>estd 45'</u>	<u>estd 10'</u>	<u>approx 20-8'</u>
3.7.6 Dimensions	<u>59' x 37'</u>	<u>16'6" x 12'6"</u>	<u>27' x 30'</u>
3.7.7 Gross floor area <u>exterior</u>	<u>1757 sqft</u>	<u>176 sqft</u>	<u>720 sqft</u>
3.7.8 Date constructed	<u>estd 1905</u>	<u>estd 1995</u>	<u>N/A</u>

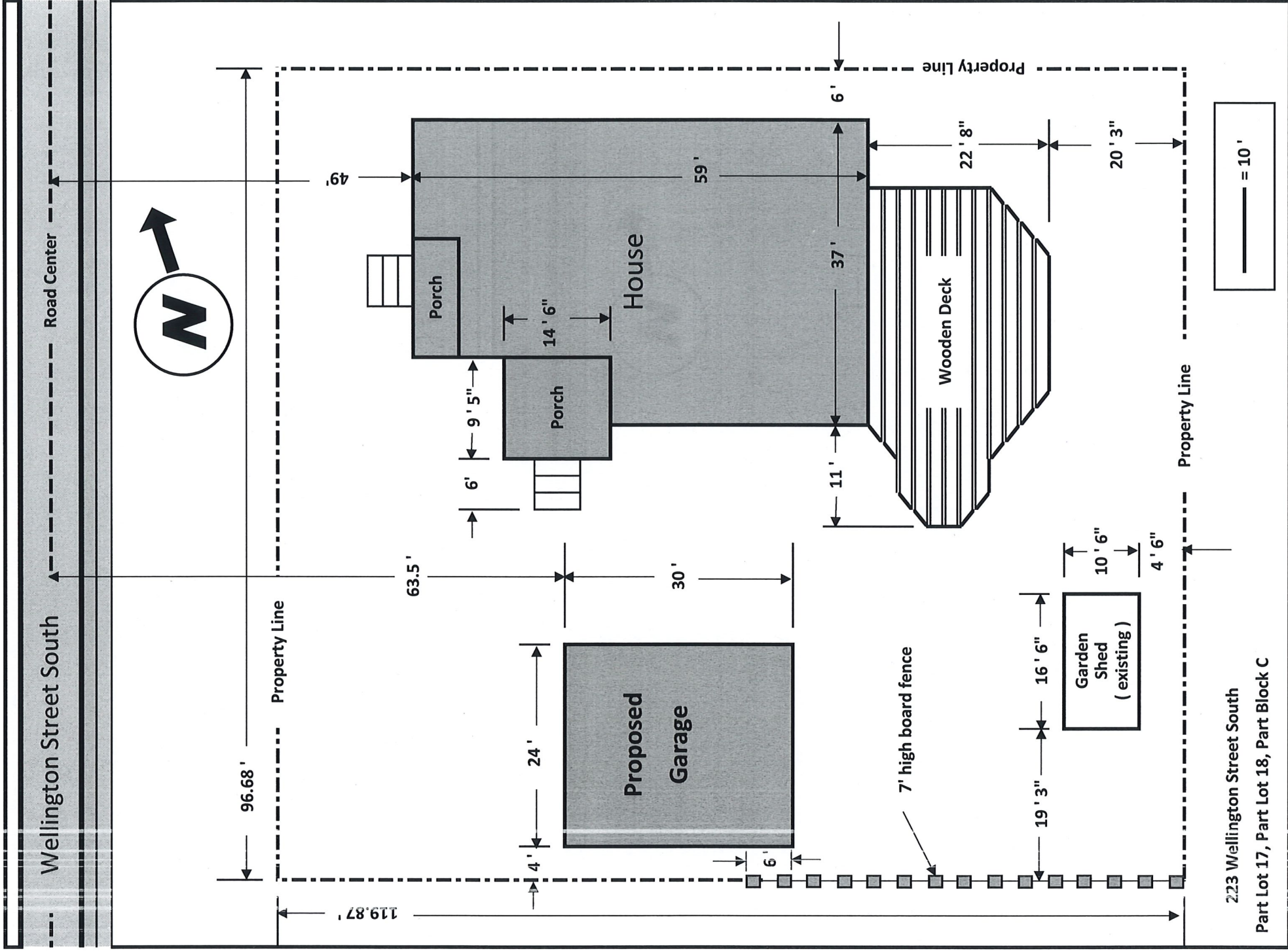
7.1 How the proposed development will be compatible with the surrounding land uses.

The existing residence is a butter brick Victorian with a design typical of many in the immediate area. The proposed garage will be comparable to the size of many older garages or accessory structures in the area and town, and adopts Victorian design elements — four gables, a cupola and decorative details — that will complement both the existing house and nearby residences.

8.0 Other information

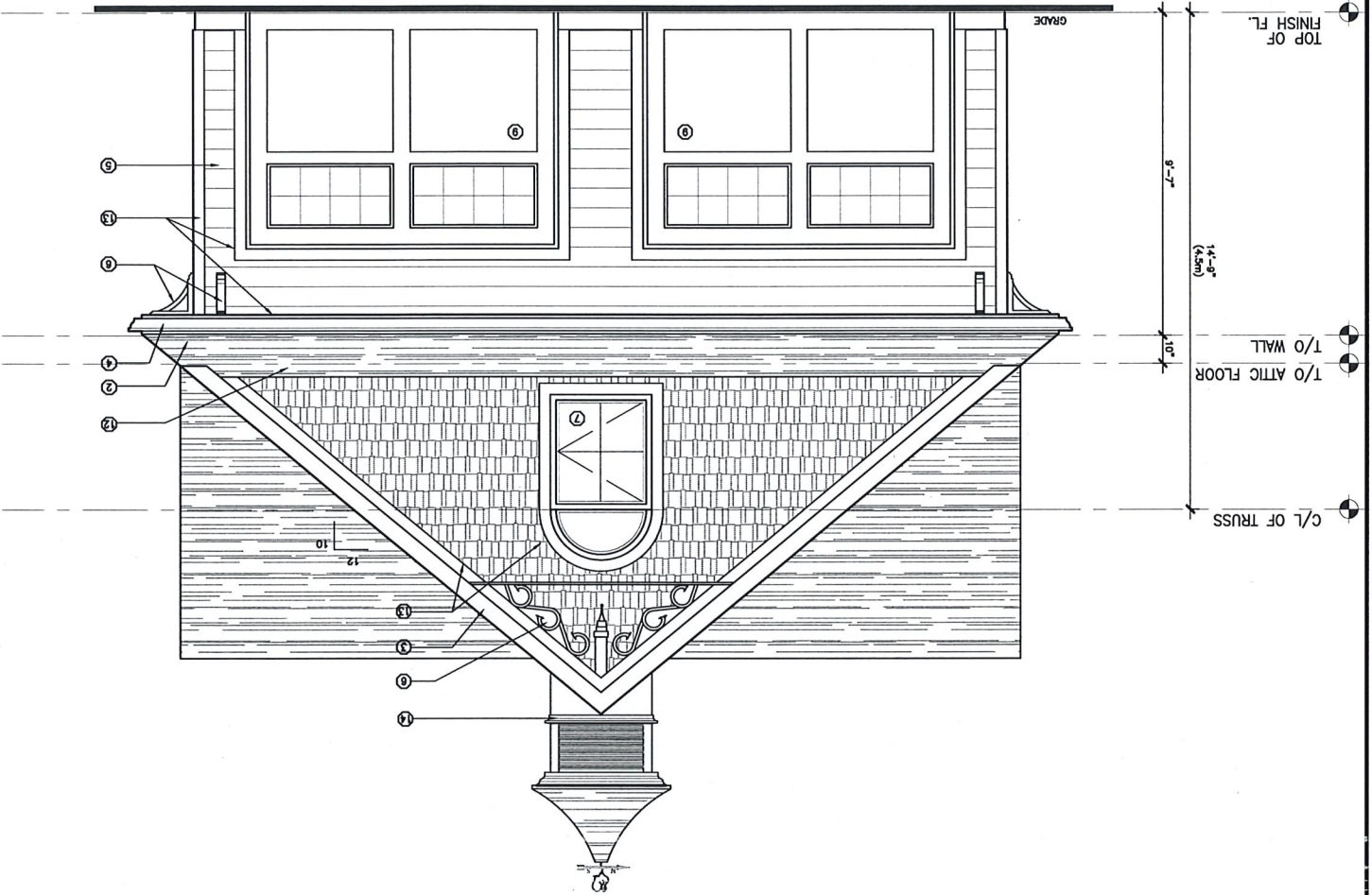
The subject property is double the size of most other area properties, and the existing residence was built entirely on the north half of the property. The available south half is large enough to conceivably permit severance and construction of a separate new residence. Although about 27% over the maximum allowed coverage under the By-Law for an accessory structure, the proposed garage would fill a much smaller proportion of the southern half of the property than the house on the north half, and its design and location on the property will make for a pleasing continuity in the streetscape of Wellington Street South.

The proposed structure complies with all Zoning requirements, including height and setback, and does not compromise the intent of the particular By-Law; it would occupy only a modest part of the available open space on the southern half of the property, has no commercial component or intended use, and is entirely directed to enhancing the residential use of the property and immediate area, in which all adjacent properties are for residential use.



1
A4
1/4"=1'-0"

1 FRONT (WEST) ELEVATION



MATERIALS LEGEND

- ① PREFINISHED METAL ROOF VENT (1/200 INSULATED CEILING AREA FOR GREATER THAN 1 IN 6 ROOF SLOPE)
- ② ASPHALT SHINGLES (COLOUR BY OWNER)
- ③ PREFINISHED CLAD FASCIA
- ④ PREFINISHED EAVESTROUGH AND DOWNSPOUTS
- ⑤ HORIZONTAL SIDING AS SELECTED BY OWNER
- ⑥ "GINGERBREAD" DETAIL
- ⑦ SEALED DOUBLE GLAZING SET IN VINYL EXTRUDED WINDOW FRAMING
- ⑧ STEEL MAN DOOR
- ⑨ OVERHEAD DOOR AND FRAME
- ⑩ FINISHED GRADE
- ⑪ PAVING ON CONCRETE FOUNDATION
- ⑫ PREFINISHED SCALLOP OR CEDAR SHAKE SIDING
- ⑬ FRIEZE BOARD/TRIM
- ⑭ CURLOA

NOTE:

1. WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

ELEVATIONS
A4

PROJECT No.:	21-404
SCALE:	1/4"=1'-0"
DRAWN BY:	T.L.P.
REVISION:	M.V. REVIEW
PRINT DATE:	JUNE 11, 2021
23 WELLINGTON ST. S. ST. MARYS, ON TRT HEWWEY GARAGE	

TARA PORTER DESIGN
 I, TARA PORTER HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN AND REVISIONS AND AM REGISTERED IN THE APPROPRIATE CATEGORIES.
 TARA PORTER BCIN: 24454 BCIN: 116867

DO NOT SCALE DRAWINGS
 ALL CONSTRUCTION TO COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND LOCAL MUNICIPAL BY-LAWS. TARA PORTER DESIGN DOES NOT ASSUME ANY RESPONSIBILITY FOR CONSTRUCTION MEET ALL NECESSARY REQUIREMENTS, FOR ANY ERRORS IN CONSTRUCTION OR FOR ANY CONSEQUENCES FROM THE CONSTRUCTION.
 THESE DRAWINGS ARE FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF FLOOR SYSTEMS, TRUSSES, AND THE LIKE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION. DESIGNER NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.
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A5

ELEVATIONS

PROJECT NO.:	21-424
SCALE:	1/4"=1'-0"
DRAWN BY:	T.L.P.
REVISION:	M. V. REVIEW
PRINT DATE:	JUNE 10, 2021

23 WELLINGTON ST. S.
ST. MARYS, ON

TRETHEWEY
GARAGE

TARA PORTER
BCIN: 24454
BCIN: 116867

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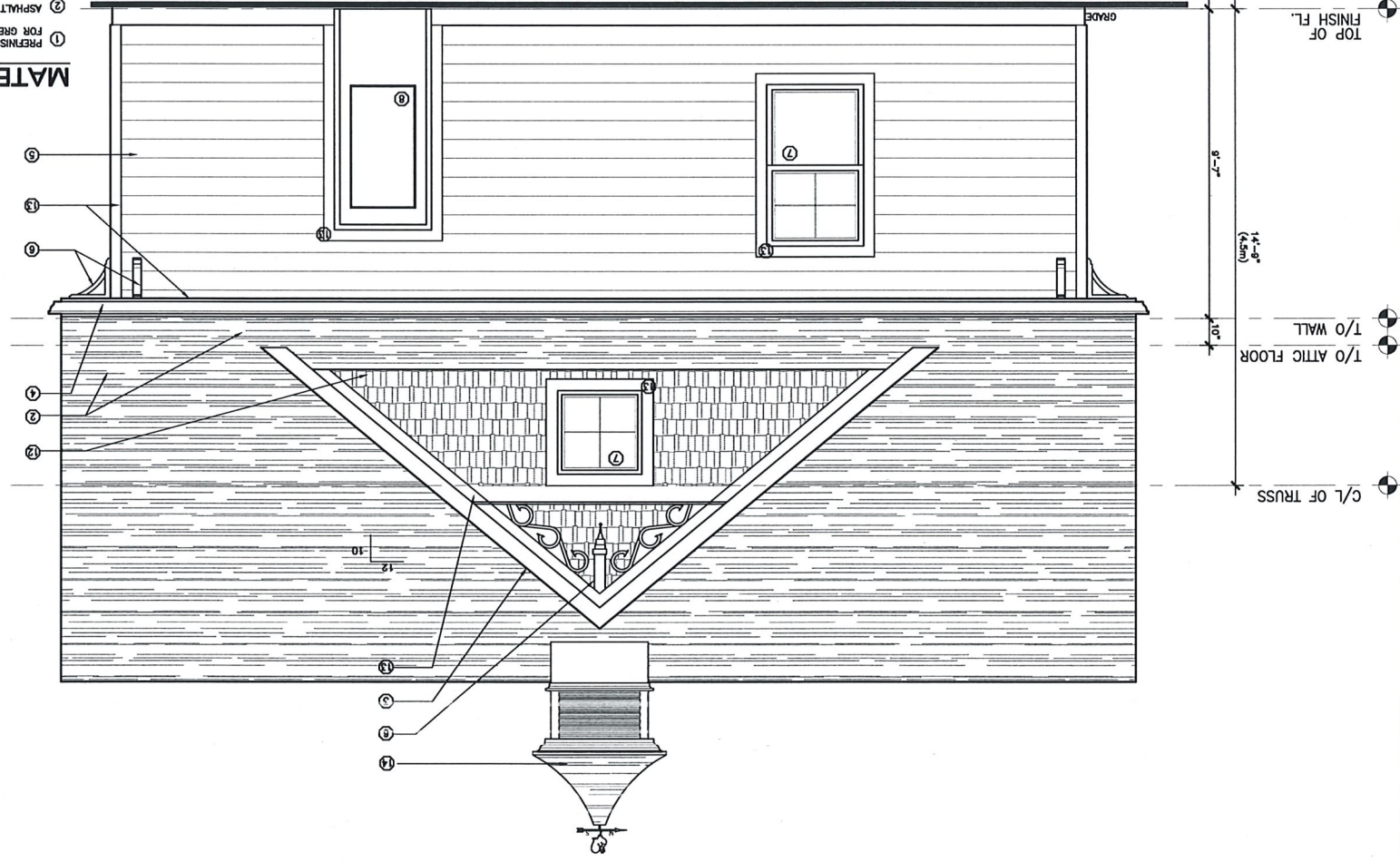
1 LEFT SIDE (NORTH) ELEVATION

A5

1/4"=1'-0"

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 - 1 PREFINISHED METAL ROOF VENT (1/200 INSULATED CEILING AREA FOR GREATER THAN 1 IN 6 ROOF SLOPE)
 - 2 ASPHALT SHINGLES (COLOUR BY OWNER)
 - 3 PREFINISHED CLAD FASCIA
 - 4 PREFINISHED EAVESTROUGH AND DOWNSPOUTS
 - 5 HORIZONTAL SIDING AS SELECTED BY OWNER
 - 6 "GINGERBREAD" DETAIL
 - 7 SEALED DOUBLE GLAZING SET IN VINYL EXTRUDED WINDOW FRAMING
 - 8 STEEL MAN DOOR
 - 9 OVERHEAD DOOR AND FRAME
 - 10 FINISHED GRADE
 - 11 PAVING ON CONCRETE FOUNDATION
 - 12 PREFINISHED SCALLOP OR CEDAR SHAKE SIDING
 - 13 FRIEZE BOARD/TRIM
 - 14 CUPOLA

MATERIALS LEGEND



A6

ELEVATIONS

PROJECT No.:	21-404
SCALE:	1/4"=1'-0"
DRAWN BY:	T.L.P.
REVISION:	M.V. REVIEW
PRINT DATE:	JUNE 10, 2021

223 WELLINGTON ST. S.
ST. MARYS, ON

TRETHWAY GARAGE

TARA PORTER
BCIN: 24454
BCIN: 116887

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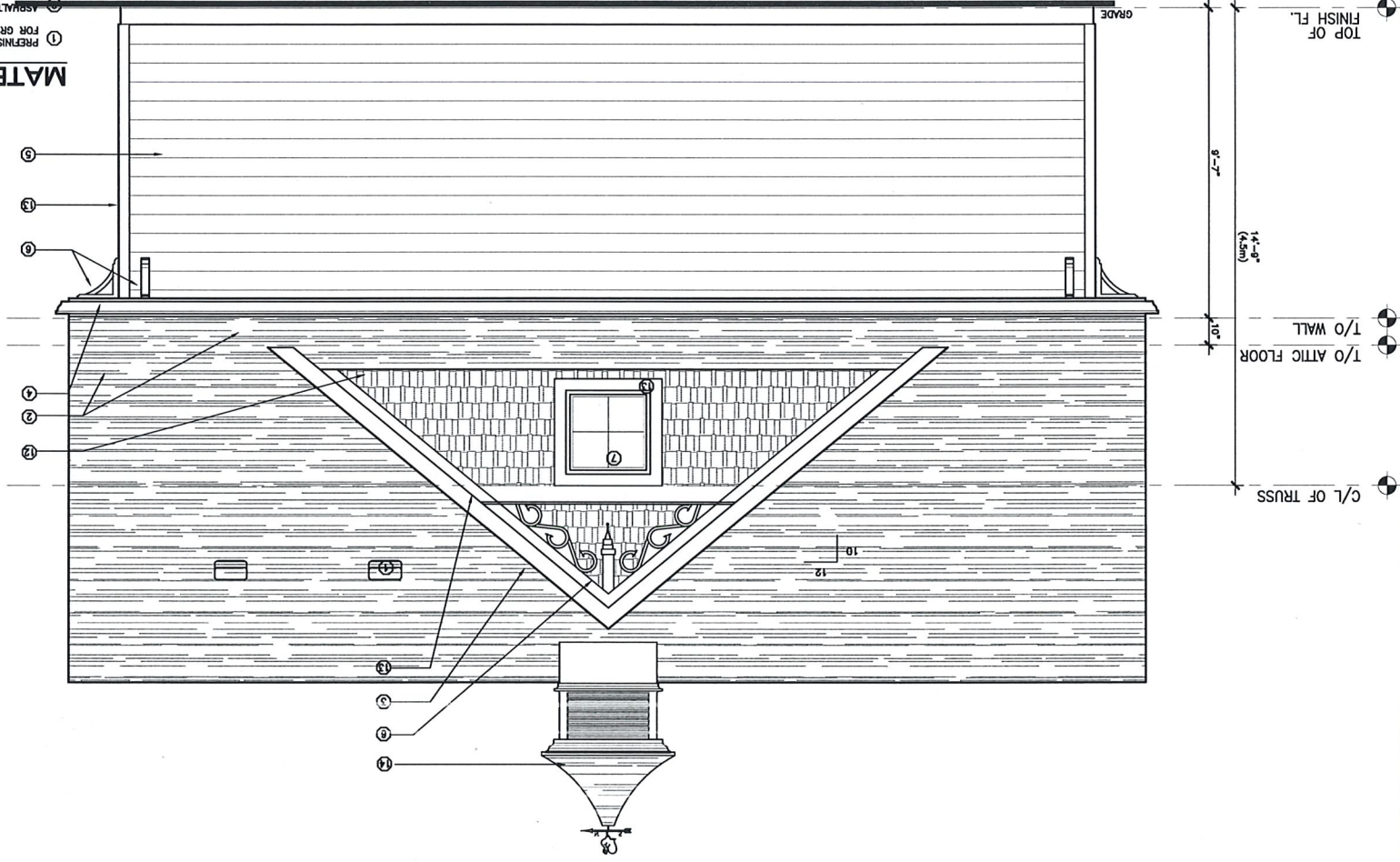
1 RIGHT SIDE (SOUTH) ELEVATION

A6

1/4"=1'-0"

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 12. PREFINISHED SCALLOP OR CEDAR SHAKE SIDING
 13. FRIEZE BOARD/TRIM
 14. CUPOLA

MATERIALS LEGEND



TOP OF FINISH FL.

9'-7"

14'-0"
(4.88m)

1/0 WALL

1/0 ATTIC FLOOR

C/L OF TRUSS

10'

12'

A7

ELEVATIONS

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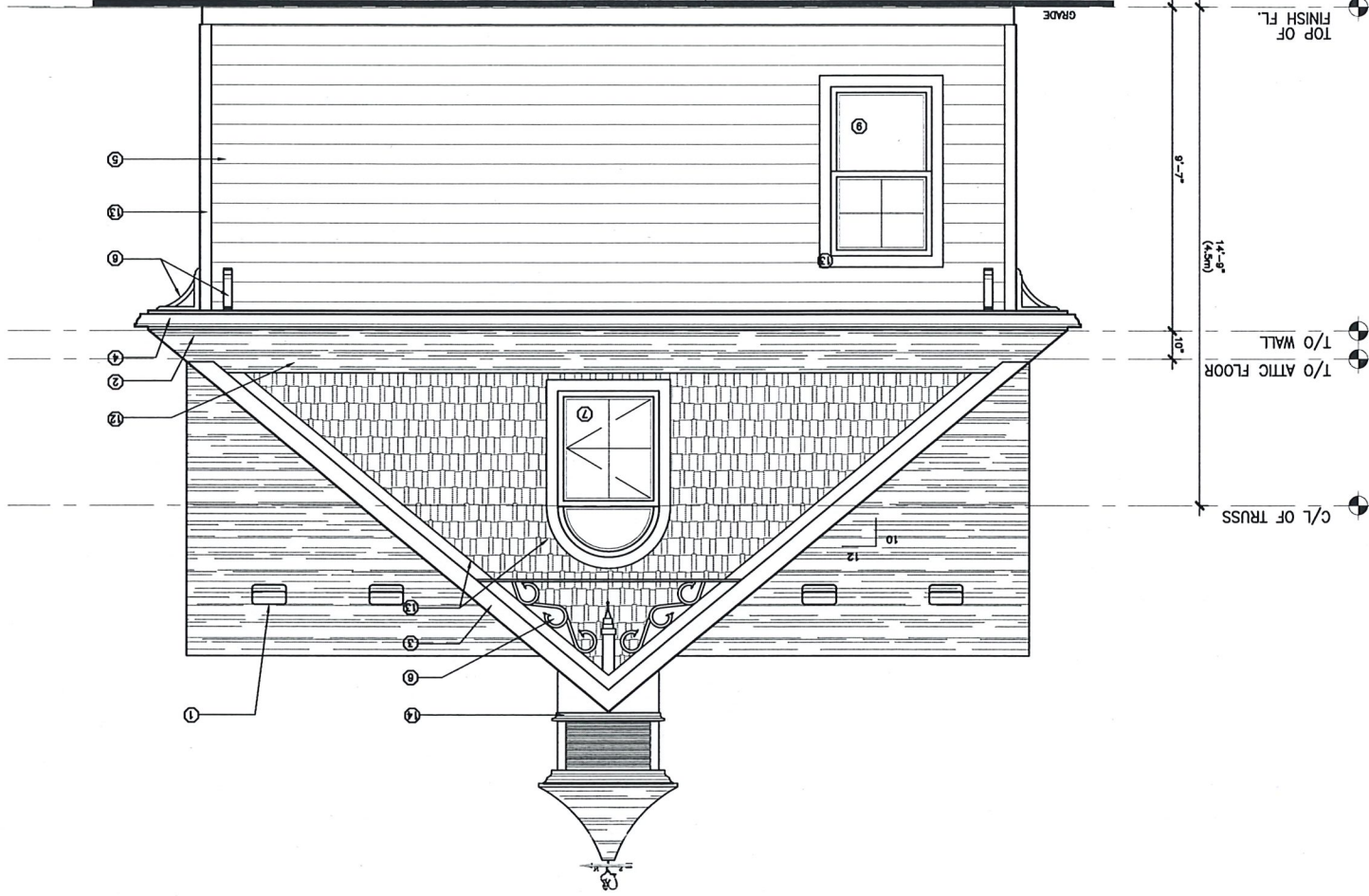
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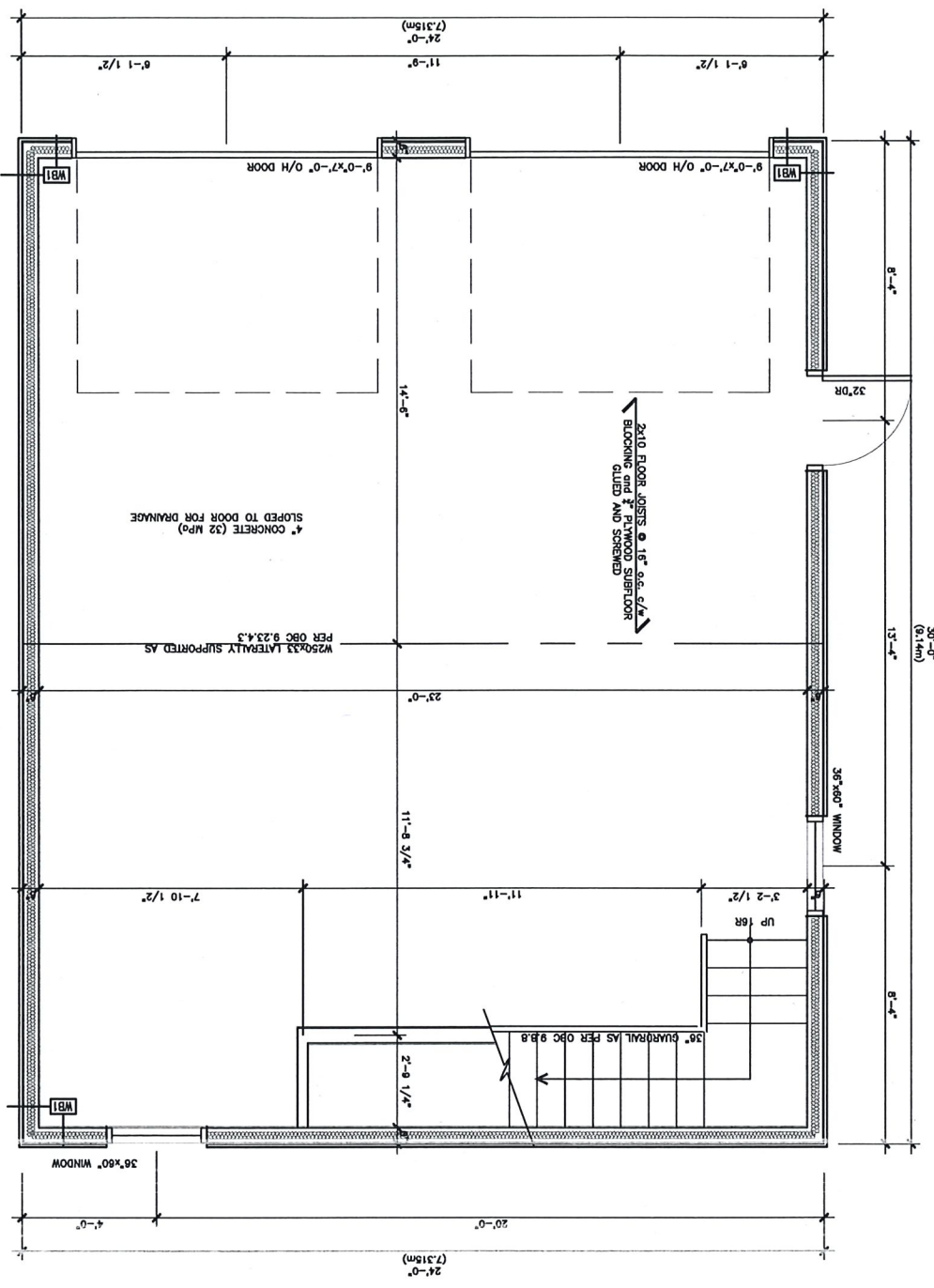
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- NOTE:**
WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.



1 REAR (EAST) ELEVATION
A7
1/4"=1'-0"



1 FLOOR PLAN
A2
1/4" = 1'-0"

CONVENTIONAL FRAMING FOR ROOF RAFTERS AND TRUSS OVERLAYING

SPANS FOR ROOF RAFTERS 2.5 kPa

RAFTER SIZES	12"	16"	24"
2"x4"	7'-5"	6'-10"	7'-0"
2"x6"	11'-10"	10'-9"	9'-4"
2"x8"	15'-7"	14'-2"	11'-6"
2"x10"	19'-10"	17'-3"	14'-1"
2"x12"	23'-2"	20'-1"	16'-4"

ALL WOOD MEMBERS ARE SPF No. 1 AND 2 MIN. MAXIMUM RAFTER LENGTH MAY BE REDUCED WITH COLLAR TIES AND STRUTS AS PER OBC 9.23.13.7
ALL MAXIMUM LENGTHS DERIVED FROM CANADIAN WOOD COUNCIL SPAN CHARTS

UNITS TO HAVE MIN. 1/8" BEARING E/S. UNITS FOR LARGER OPENINGS GREATER THAN 9'-10" TO HAVE MIN. 3" BEARING E/S FOR EXTERIOR WALLS ONLY AND TO HAVE MIN. 3/8" BEARING E/S. ALL UNITS ARE ASSUMED TO HAVE NON-STRUCTURAL SHEATHING UNLESS OTHERWISE NOTED.
-FLOOR SPANS BASE ON MAX. 4.8m JOIST SPAN AND MAX. 8.8m TRUSS SPAN
-FLOOR SPANS FOR FULL BUILDING WITH INTERMEDIATE SUPPORT. UNITS SHALL BE REDUCED BY 15% FOR ROOF & 1 STOREY, 20% FOR ROOF AND 2 STOREY, 25% FOR ROOF AND 3 STOREY. REFER TO UNITS NOTES IN TABLE A-12 TO A-19 AS PER OBC DIV. B 9.23.12
-UNITS SPANS ARE CALCULATED BASED ON MAXIMUM FLOOR JOISTS, ROOF JOIST OR RAFTER SPAN OF 4.8m AND A MAX. TRUSS SPAN OF 8.8m. UNITS SPAN MAY BE INCREASED BY 5% IF RAFTER AND JOIST SPANS ARE NOT MORE THAN 3.7m AND ROOF TRUSSES ARE NOT INCREASED BY 10% IF RAFTER AND JOIST SPANS ARE NOT MORE THAN 3.7m AND ROOF TRUSSES ARE NOT MORE THAN 7.4m

ROOF AND CEILING ONLY 2.5 kPa - TRIB WIDTH OF 4.8m

LARGE OPENINGS	UNITS	
	SPAN	SPACING
INTERIOR EXTERIOR WALLS	3'-0"	3'-5"
WALLS	4'-5"	4'-5"
STRUCTURAL SHEATHING	3'-0"	3'-5"
SPAN	3'-0"	3'-5"
SPAN	4'-5"	4'-5"
SPAN	5'-0"	5'-0"
SPAN	5'-4"	5'-4"
SPAN	6'-2"	6'-2"
SPAN	6'-7"	6'-7"
SPAN	7'-8"	7'-8"
SPAN	8'-10"	8'-10"
SPAN	130x304 GLU LAM	14'-5"
SPAN	130x380 GLU LAM	17'-0"

WALL TYPES

- WB1** EXTERIOR GARAGE WALL SINGING - CONCRETE SINGING TO STRAPPING AS REQUIRED - AIR BARRIER - 3/4" OSB SHEATHING - 2x6 STUDS @ 16" o.c. - 5/8" BATT INSULATION (OPTIONAL) - 1/2" DRYWALL/PLYWOOD
- FB1** TYPICAL CONCRETE SLAB - 5" CONCRETE SLAB (25 MPa) - SOIL FINISH OR FINISH A BUILDING PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR THE ALL COORDINATION OF FLOOR SYSTEMS, TRUSSES, AND THE LIKE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS OR OMISSIONS TO CONSTRUCTION. DESIGNER NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. ALL DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND REDUCTION OF THESE DRAWINGS IN WHOLE OR IN PART IS FORBIDDEN WITHOUT THE DESIGNER'S WRITTEN PERMISSION.
- RA1** TYPICAL ROOF - ASPHALT SHINGLES - 1/2" PLYWD. SHEATHING C/W EDGE CURPS - 2x8 ROOF RAFTERS @ 16" o.c. - BATT INSULATION (OPTIONAL) - PROVIDE INSULATION BATTLES ENSURE ADEQUATE VENTILATION - 6 MIL POLY VAPOR BARRIER (SUPER SIX) - 1/2" RESIDENT CHANNELS - 1/2" DRYWALL/PLYWOOD

TARA PORTER DESIGN

1. TARA PORTER HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN ACTIVITIES. I AM QUALIFIED, AND AM REGISTERED IN THE APPROPRIATE CATEGORIES.
TARA PORTER BCIN: 24454 BCIN: 116687

TRETHEWEY GARAGE

223 WELLINGTON ST. S. ST. MARYS, ON
PRINT DATE: JUNE 11, 2021
REVISION: M. V. REVIEW
DRAWN BY: T.L.F.
SCALE: 1/16" = 1'-0"
PROJECT NO.: 21-464

A2 FLOOR PLAN

DO NOT SCALE DRAWINGS

A3

ATTIC PLAN

PROJECT No.:	21-404
SCALE:	1/4"=1'-0"
DRAWN BY:	T.L.P.
REVISION:	M.V. REVIEW
PRINT DATE:	JUNE 11, 2021

223 WELLINGTON ST. S.
ST. MARYS, ON

TRETHEWEY
GARAGE

TARA PORTER
BCIN: 24464 BCIN: 116867

I. TARA PORTER HAVE REVIEWED AND
TAKEN RESPONSIBILITY FOR THE
DESIGN SOLUTIONS. AN UNDUE
AND AM REGISTERED IN THE
APPROPRIATE CATEGORIES.

TARA PORTER
DESIGN

DO NOT SCALE DRAWINGS
ALL CONSTRUCTION TO COMPLY
WITH THE 2012 ONTARIO BUILDING
CODE AND LOCAL MUNICIPAL
BYLAWS. TARA PORTER DESIGN
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REQUIREMENTS, FOR ANY ERRORS
IN CONSTRUCTION OR FOR ANY
CONSEQUENCES FROM THE
CONSTRUCTION.
THESE DRAWINGS ARE FOR THE
SOLE PURPOSE OF OBTAINING A
BUILDING PERMIT. THE
CONTRACTOR IS RESPONSIBLE FOR
ALL COORDINATION OF FLOOR
SYSTEMS, TRUSSES, AND THE LIKE.
THE CONTRACTOR SHALL CHECK
AND VERIFY ALL DIMENSIONS AND
REPORT ANY ERRORS OR OMISSIONS
FOUND ON THE DRAWINGS PRIOR
TO CONSTRUCTION. DESIGNER NOT
RESPONSIBLE FOR ANY ERRORS OR
OMISSIONS.
ALL DRAWINGS AND RELATED
DOCUMENTS ARE THE PROPERTY OF
TARA PORTER DESIGN AND REVISION
THE DESIGNER AND REVISION
IN PART IS FORBIDDEN WITHOUT
THE DESIGNER'S WRITTEN
PERMISSION.

1
A3
1/4"=1'-0"

CONVENTIONAL FRAMING FOR ROOF RAFTERS AND TRUSS
OVERFRAMING
SPANS FOR ROOF RAFTERS 2.5 kPa
SPACING 16" 24"

RAFTER SIZES	12"	16"	24"
2"x4"	7'-5"	6'-10"	6'-0"
2"x6"	11'-10"	10'-9"	9'-4"
2"x8"	14'-2"	14'-1"	11'-6"
2"x10"	19'-10"	17'-3"	14'-1"
2"x12"	23'-2"	20'-1"	16'-4"

ALL WOOD MEMBERS ARE SPF No. 1 AND 2 MIN.
MAXIMUM RAFTER LENGTH MAY BE REDUCED WITH COLLAR
KNOTS AND STRUTS AS PER OBC 9.23.13.7
ALL MAXIMUM LENGTHS DERIVED FROM CANADIAN WOOD
COUNCIL SPAN CHARTS

UNITS TO HAVE MIN. 1/8" BEARING E/S. UNITS FOR LARGER OPENINGS GREATER THAN 9'-10" TO HAVE
MIN. 3/4" BEARING E/S. UNITS ARE FOR EXTERIOR WALLS ONLY AND TO HAVE MIN. 3/8" BEARING E/S
ALL UNITS ARE ASSUMED TO HAVE NON-STRUCTURAL SHEATHING UNLESS OTHERWISE NOTED.
UNITS SPAN BASE ON MAX. 4.9m JOIST SPAN AND MAX 8.9m TRUSS SPAN
IF FLOOR JOISTS SPAN FULL BUILDING WITHOUT INTERMEDIATE SUPPORT, UNITS SHALL BE REDUCED
BY 15% FOR ROOFS & 1 STOREY, 20% FOR ROOF AND 2 STOREY, 25% FOR ROOF AND 3 STOREY
REFER TO UNITS NOTES IN TABLES A-12 TO A-19 AS PER OBC DV, 8.2.3.12
UNITS SPANS ARE LIMITED BASED ON MAXIMUM FLOOR JOIST OR RAFTER SPAN OF 4.9m
AND A MAX. ROOF TRUSS SPAN OF 8.9m UNLESS SPAN MAY BE INCREASED BY 5% RAFTER AND JOIST
SPANS ARE NOT MORE THAN 4.3m AND ROOF TRUSS SPANS ARE NOT MORE THAN 8.6m. SPANS MAY BE
INCREASED BY 10% IF RAFTER AND JOIST SPANS ARE NOT MORE THAN 3.7m AND ROOF TRUSSES ARE NOT
MORE THAN 7.4m

ROOF AND CEILING ONLY 2.5 kPa - TRIB WIDTH OF 4.9m

UNITS	SPAN	INTERIOR EXTERIOR WALLS	STRUCTURAL SHEATHING	SPAN	UNITS
2 OF 2"x4"	3'-0"	3'-0"	3'-0"	3'-0"	2 OF 2"x8"
2 OF 2"x6"	4'-5"	4'-5"	5'-0"	8'-0"	3 OF 2"x10"
2 OF 2"x8"	5'-4"	6'-2"	6'-2"	9'-4"	3 OF 2"x12"
2 OF 2"x10"	6'-7"	7'-7"	7'-7"	14'-5"	130x304 GLU LAM
2 OF 2"x12"	7'-8"	8'-10"	8'-10"	17'-0"	130x380 GLU LAM

WALL TYPES

WB1 EXTERIOR FOUNDATION WALL (GSI 2.4k)
-9" MIN BARS AT TOP OF FOUNDATION
-ON 20"x6" FOOTING

WB2 EXTERIOR GARAGE WALL SIDING
-TRAPPING AS REQUIRED
-1/2" AIR BARRIER
-3/8" OSB SHEATHING
-2x6 STUDS @ 16" o.c.
-5/8" R19 BATT INSULATION (OPTIONAL)
-6ml POLY VAPOUR BARRIER (SUPER SIX)
-1/2" DRYWALL/PLYWOOD

FB1 5" CONCRETE SLAB (25 MPa)
-110 RIGID INSULATION
-5 GRANULAR FILL IN ACCORDANCE
W/ OBC 9.16.2.1
-PROVIDE SAW CUTS

RA1 TYPICAL ROOF
-ASPHALT SHINGLES
-1/2" PLYWD. SHEATHING C/W EDGE CUTS
-2x8 ROOF RAFTERS @ 16" o.c.
-PART INSULATION (OPTIONAL)
-PROVIDE INSULATION BUFFLES ENSURE
ADEQUATE VENTILATION
-6ml POLY VAPOUR BARRIER (SUPER SIX)
-1/2" RESILIENT CHAMBRAS
-1/2" DRYWALL/PLYWOOD

ALL INTERIORS ARE TAKEN TO THE
OUTSIDE FACE OF FOUNDATION, SING TO
EXTEND BEYOND
ALL INTERIOR AND EXTERIOR LOAD
BEARING WALLS TO HAVE BRACING
AS PER OBC 9.23.10.2

